



REQUEST FOR PERMISSION TO UNDERTAKE STRUCTURAL OR VISUAL ALTERATIONS

Name of Organization or Owner Requesting Permission: City of Reno

Mailing Address: 1 E. 1st Street, Reno, NV 89503

Property Name: First Church of Christ, Scientist / Lear Theater

Property Address: 501 Riverside Drive, Reno, NV 89503

Year Property Built: 1939 Expiration Date of Covenants: 12/31/2060

In accordance with current Covenants (Stipulation 2) in effect on the property above, the above named Organization or Owner is requesting written permission to undertake visual or structural alterations as described in the attached documentation. (Use as many pages as needed)

Submit request form, description of work, and supplementary materials to knbrown@shpo.nv.gov or by mail to:


State Historic Preservation Office
901 S. Stewart St., Ste. 5004
Carson City, NV 89701-5247

Please allow up to **14 business days** for this form to be processed. Proposed work must not begin until this form has been reviewed and approved by the State Historic Preservation Office.

Note: Methods and materials must follow the SOI Standards. Visit the National Park Service's Technical Preservation Services website (<https://www.nps.gov/tps/standards.htm>) Click on the top tab "How to Preserve." Look through the preservation tech notes and preservation briefs, or search by preservation topic.

Secretary of the Interior (SOI) Standards for Rehabilitation: <https://www.nps.gov/tps/standards/four-treatments/treatment-rehabilitation.htm>

Request Submitted by:

<u>Megan Berner</u>		<u>3/18/24</u>
Print Name	Signature	Date
<u>Arts & Culture Manager</u>	<u>City of Reno</u>	
Title	Organization (if applicable)	
<u>bernerm@reno.gov</u>	<u>775-326-6333</u>	
Email	Phone	



REQUEST FOR PERMISSION TO UNDERTAKE STRUCTURAL OR VISUAL ALTERATIONS

Name of Organization or Owner Requesting Permission: City of Reno

Documentation (*required) Please check boxes for all attached documentation.

Description of Proposed Work*

- Location on building
- Approximate size of area affected
- Existing conditions
- Materials to be used
- Proposed methods

Sketches, plans, or architectural drawings depicting the proposed work

Sketch or site plan of project location

Specs of materials to be used

Historic photographs depicting past condition or design

Photographs of existing conditions*

Other _____

Description of Proposed Work (attach additional pages as needed)

See attached.

Description of Proposed Work

The City of Reno is proposing the following work at the First Church of Christ, Scientist/Lear Theater building at 501 Riverside Drive:

- Restore the historic landscaping to include a new lawn and perimeter plantings, irrigation repair, and installation of outdoor electrical power.
- Improve building security by installing an attractive temporary perimeter fence, repair existing exterior lighting, and install wireless security cameras.
- Repair deteriorated concrete walks and stairs in the building's exterior grounds.

All of the proposed work is happening on the exterior of the property. Proposed work will be completed in accordance with the Secretary of the Interior's Standards for Rehabilitation of Historic Buildings.

The proposed landscaping will restore the historic landscaping based on the available images of the architect's design and historic/pre-existing landscaping. Images are attached for reference to the historic landscaping and a general design plan is also attached. This plan includes irrigation and installation of outdoor electrical power. Specs for electrical work are attached. This also includes repairing the existing lighting on the exterior of the building.

There is an existing temporary, 6-foot, chain-link construction fence around the perimeter of the property currently. The City is proposing replacing this with a new, more attractive and period appropriate, temporary fence. The design of the fence is temporary so that it can be completely removed during subsequent phases of rehabilitation. This has been identified as a key component of keeping the building secure until the building has a more regular use and presence of people to ensure the building's safety. The new fence will help with the perception of the property—right now it looks like it is condemned—and ensure the security of the building. Prior to the current construction fence being placed, there were several break-ins and a fire that was started inside the building that created some damage to the interior lobby. Broken windows were also an issue. The proposal to add security cameras will also help with keeping the building safe. The cameras will connect to a security system that is monitored by the City's security staff so they can be alerted and dispatched as needed. The new fencing will include gates at the west walkway, the two walkways on the south side, and the walkway leading up to the ramp on the east side. See attached for proposed fencing style and location.

The proposed concrete repair will include reconstruction of the two sets of steps leading up to the raised concrete terrace at the main entrance to the building as well as the concrete walkways leading to the staircases and the concrete terrace itself. The existing patterning on the terrace concrete will be reproduced in the new concrete. There will be new handrails installed in the center of the two staircases leading up to the terrace that will match the existing railing currently installed between the terrace and the portico. The existing concrete ramp on the east elevation will be removed and replaced with a new ADA compliant concrete ramp. The east elevation is a secondary façade and has the only public entrance that can be accessed by an ADA ramp, other

than the main entry doors. Providing ADA access at the east elevation preserves the character defining features of the primary façade at the south elevation. The existing concrete ramp is in disrepair and the slope is too steep to meet current code requirements.

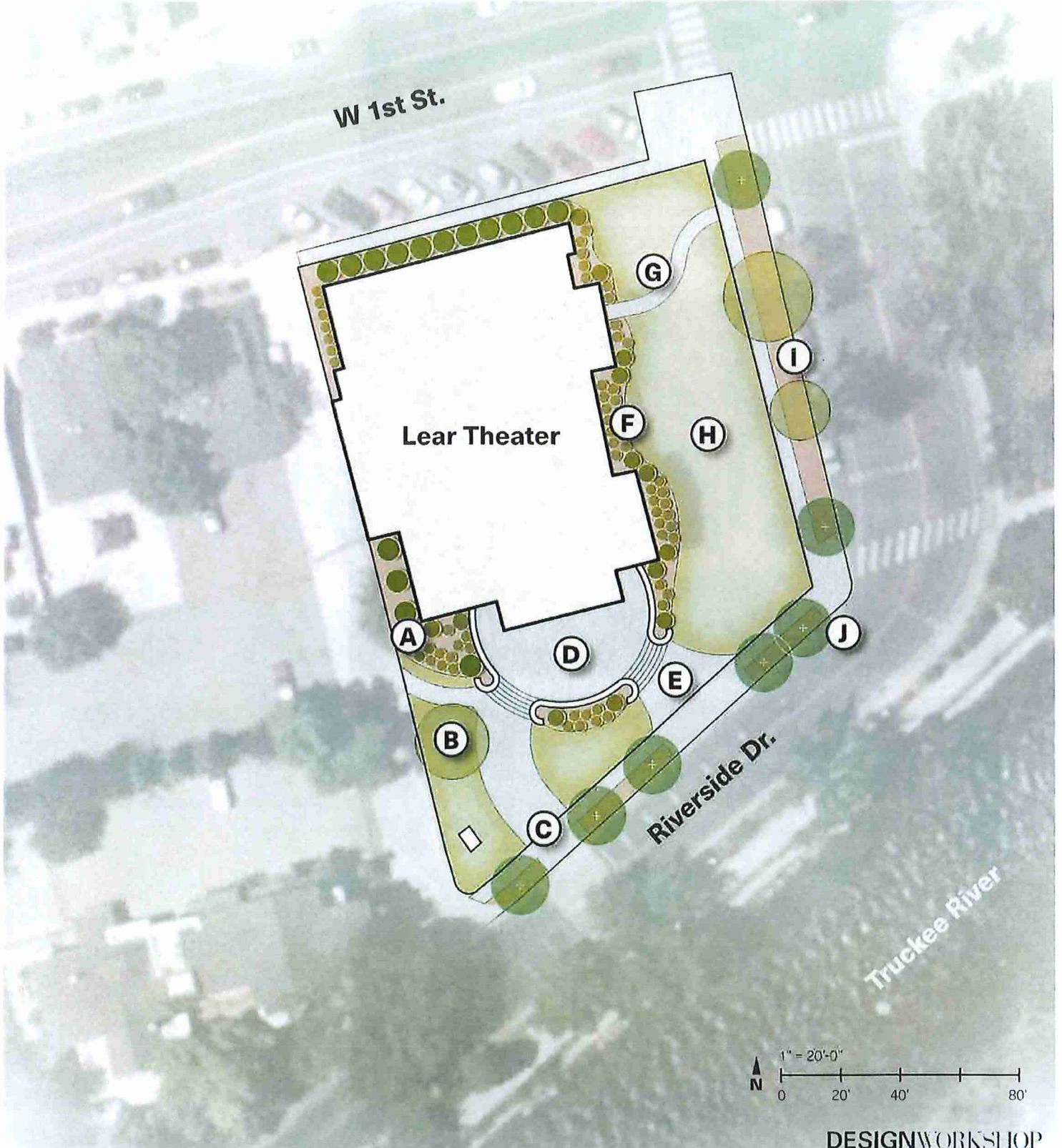
The following National Park Service Preservation Briefs and documents were consulted in preparation for this project.

- Preservation Brief #17: Architectural Character: Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character
- Preservation Brief #27: The Maintenance and Repair of Architectural Cast Iron
- Preservation Brief #32: Making Historic Properties Accessible
- Entrance Treatments, ITS No. 26
- The First Church of Christ, Scientist (Lear Theater) National Register Nomination (1999)
- First Church of Christ, Scientist Historic Building Assessment (1997)

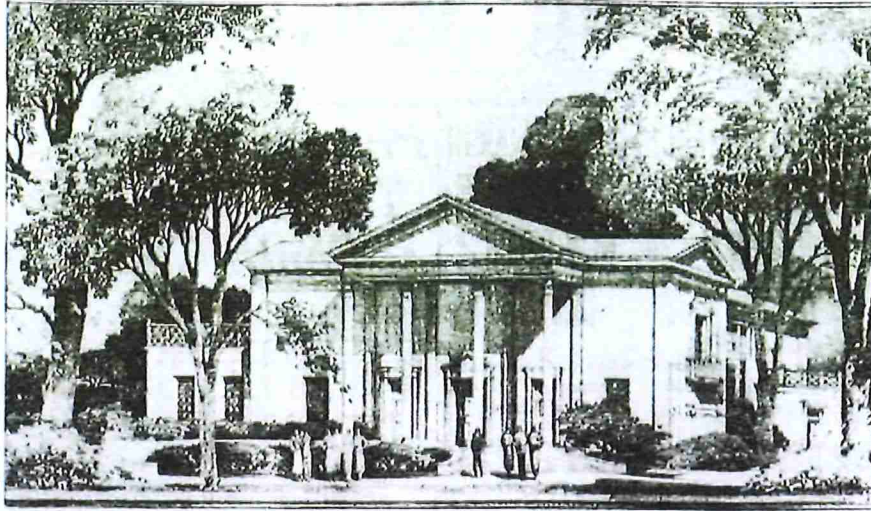
Drawing Key

- A** Existing tree to be removed (not shown on plan)
- B** Existing tree to be preserved
- C** Install security fencing around perimeter of property. Gate sizes and locations to be determined.
- D** Replace existing landing pavement with like kind
- E** Replace existing hardscape with like kind

- F** Update foundation planting within 6-8' of building
- G** Replace existing ramp with reconfigured route to meet ADA requirements
- H** Install lawn and irrigation
- I** Preserve existing linden trees
- J** Install trees and drip irrigation in planting strip



FUTURE HOME OF CHRISTIAN SCIENCE CHURCH



Pictured above is the architect's drawing of the new Christian Science church on which construction was started several days ago. The structure will be framed of steel and the exterior will be stucco. When finished the building which will face on Riverside Drive will represent a total outlay of about \$125,000 including the land which was purchased for \$20,000. Paul R. Williams of Los Angeles is the architect.

◀ Rendering by Paul Revere Williams, architect of the Lear Theater, 1938
Image Source: Reno Gazette



◀ Lear Theater circa 1945
Image Source: University of Nevada Archives



◀ Aerial imagery from 2002 shows the approximate locations of trees that have since been lost
Image Source: Google Earth



480 Morrill Avenue, Reno, NV 89512
Phone: (775)786-6002 Fax: (775)786-7992
License # 7798A - Expires 01-31-2026

February 8, 2024

To: City of Reno
Attention: Jeremy Huntsman (775)399-8662 hunstmanj@reno.gov
Re: Lear Theater Fencing

Artistic Fence Company, Inc. Proposes To Furnish The Following Bid Items

INCLUSIONS:

- 613' Of 6' Tall Custom Wrought Iron Fencing With Finials, Single, And Double Gates
4" Square Double Gate Posts With Ball Caps
3" Square Single Gate And Fence Posts With Ball Caps
Panels To Be Custom To Match Neighboring Fence Styles, Not An Exact Match, And Welded To Posts
Panels Coated Black
Double Gates To Be Hung With Power Hinges And Secured With Drop Rods
Single Gate To Have Standard Hinges And Single Hole Lock Box For Customer Supplied Lock

Price = \$140,135.00

No Addenda Noted.
Prevailing Wages Not Included.

EXCLUSIONS:

- Grading, Permits, Core Drilling, Engineering, Staking/Surveying, Traffic Control, Concrete Mow Curbs, Location of Private Underground Utilities, Clearing of Fence Lines, Locks/Panic Hardware, Bond Premium, Grounding, Saw Cutting, Painting/Staining, Removal/Relocation of Temporary Fence

SPECIAL NOTES:

- 1: The pricing in this proposal is guaranteed for 15 days. Acceptance thereafter may necessitate pricing adjustments.
2: This quotation does not include permit. Artistic Fence can obtain the permit at customer request if necessary for job for price of permit and administrallon costs.
3: Only the stated items are included in this proposal. References to plans, specs, and addenda are intended to convey that Artistic Fence has reviewed these documents and as applicable, the items included in this scope letter comply. Acknowledgment of these documents should in no case be construed to presume inclusion of any items not specifically indicated in this scope letter. Should a subcontract be issued for the items indicated in this proposal, the General Contractor agrees to include this scope letter as an integral and binding part of said subcontract.
4. Artistic Fence is not signatory to and does not agree to participate in any collective bargaining agreements.

Respectfully Submitted,
Artistic Fence Co.

Nick Haney

Estimator 775-622-2251

Accepted By: _____

Date: _____



SIERRA NEVADA CONSTRUCTION

Mail PO Box 50760
Sparks, NV 89435-0760

Yield 2055 East Greg Street
Sparks, NV 89431

Phone 775.355.0420
Fax 775.355.0535

NV Lic. 25565 CA Lic. 593393

January 4, 2024
City of Reno
1640 E. Commercial Row
Reno, Nevada 89512
Phone - 775-334-2391

Lear Theater 501 Riverside Dr

This proposal dated 1/4/2024, for work to be performed at Lear Theater 501 Riverside Dr Reno, Nevada, herein designated the "Project" shall become a binding contract upon execution by SIERRA NEVADA CONSTRUCTION, INC, ("Contractor") and City of Reno ("Owner"). Contractor represents that it is the Owner of the real property upon which the construction improvement is to be made or is the authorized representative of the Owner of the property.

WITNESSETH: That Sub-Contractor and Contractor, for the consideration hereinafter set forth agree as follows:

Section 1. **Scope of Work:** Sub-Contractor acknowledges that it is familiar with the nature and location of the work and shall furnish all materials and perform all of the work. All work shall be performed by Sub-Contractor to industry standard and Sub-Contractor shall use its best skill and judgment in performance of all work under this agreement. Sub-Contractor shall perform the work as identified in the Scope of Work attached hereto.

PROPOSAL SCOPE: Budgetary number for concrete repair /replace. Demo and haul off existing concrete and soils. Place 6" type 2 base. Form place broom finish furnish 4000 PSI concrete with fiber mesh, hot water and accelerator as needed in items per schedule below, for the following:

ITEM DESCRIPTION	APPROXIMATE QUANTITY	UNIT PRICE	TOTAL
R&R 4" Sidewalk	1534.00 SF	\$24.00 SF	<u>\$36,816.00</u>
R&R two sets steps 7 Risers each Place rebar 18" O.C.	256 SF	\$200.00 SF	<u>\$51,200.00</u>
Upper 4" sidewalk between steps Sawcut joints & bevel	1,385 SF	\$45.00 SF	<u>\$62,325.00</u>
R&R Handicap ramp on west side with new ADA ramp 3'x12" footings 8" concrete walls with #4 rebar 12" OC & #5 verts 12" OC	1 LS	1 LS	<u>\$100,096.56</u>
Handrail for ADA ramp	1 LS	1 LS	<u>\$51,103.44</u>
		Total Base Bid:	<u>\$301,541.00</u>

ALT #1 - FREEZE PROTECTION, BLANKET COVER. IF NEEDED ADD \$0.50 PER S.F. FOR FLAT WORK.

Section 2. **Special Conditions & Exclusions:**

Proposal & Construction Contract

NOTES: GENERAL CONTRACTOR TO PROVIDE TRAFFIC CONTROL, FLAGGERS, SURVEYING, STAKING, WASH OUT AREA AND HAUL OFF FOR CONCRETE TRUCKS. ALL CONCRETE WORK TO BE FIELD MEASURED AND BILLED AT ABOVE UNIT PRICES. RETENTION SHALL BE EQUAL TO THAT HELD BY THE PROJECT OWNER AND IN NO CASE SHALL EXCEED 5%. WARRANTY SHALL NOT EXCEED 1 YEAR. PROPOSAL IS BASED ON WORKING MONDAY - FRIDAY REGULAR TIME. PROPOSAL IS BASED ON ALL QUOTED WORK BEING AWARDED TO SNC AND IS SUBJECT TO ADJUSTMENT IF ONLY SELECTED ITEMS ARE USED. THIS PROPOSAL IS VALID FOR 30 DAYS.

EXCLUSIONS: Permits, testing, inspections, bonding, engineering, survey, as-built drawings, SWPPP, freeze protection, protection of finished product, and any item not specifically mentioned in scope of work, traffic control, flaggers, furnishing or installing steel plates for access, embeds, sealing, bollards, pumping, light pole bases, concrete over specified size & thickness, replacing concrete work damaged by others, legal fees, Removing or replacing subgrade due to bad soils.

Liquidated damages, cost of bond (bondable at 0.8%)

This proposal shall become part of any contract, sub-contract, or purchase order for the work contained herein. Nothing in said agreement shall supersede clarifications herein. Payment is due 30 days from the date of invoice.

TERMS AND CONDITIONS

Upon acceptance by Contractor of this proposal, the following terms and conditions apply.

Section 3. **Contract Amount and Schedule for Payment:** Contractor shall pay sub-contractor, as full compensation for furnishing all material, equipment and labor as follows: Sub-Contractor shall invoice for progress payments monthly in proportion to the amount of work completed. Progress payments are due and payable from the Contractor to Sub-Contractor within 30 days of Sub-Contractor's invoice date. Final payment shall be due within 30 days of completion of the work. Payments due and unpaid under the Contract shall bear interest from the date payment is due at the rate of 12% per annum. In the event the Contractor fails to make payment at all times and in the amounts provided for in this Contract, Sub-Contractor shall have the right to stop work and terminate the Contract. In such event, all amounts due Sub-Contractor, including retention, if any, shall immediately become payable and Sub-Contractor shall have the right to recover all damages permitted by law (including interest, applicable penalties and legal fees) sustained by Sub-Contractor as a result of such breach of contract by Contractor.

Section 4. **Commencement and Progress:** Time is of the essence with this contract. Contractor shall provide Sub-Contractor with a minimum of 10 day's notice to commence construction. Upon receiving notice to commence construction, Sub-Contractor shall commence the performance of the work as soon as is practicable and shall continue to diligently perform the work until completed.

Section 5. **Unavoidable Delays/Extension of Time:** In the event Sub-Contractor shall be delayed in the performance of the work under this Contract by causes beyond the control of the Sub-Contractor and without the fault of Sub-Contractor, including but not limited to change orders, acts of God, inclement weather, acts of any government agency, acts of terror, unsuitable ground conditions or delays caused by Contractor's vendors or other contractors, Sub-Contractor shall have such additional period of time to complete the performance of this Contract as shall be necessary as a result of such causes.

Section 6. **Changes:** Any changes to the Scope of Work specified in or any additional work shall be requested in writing by Contractor. Sub-Contractor shall provide a reasonable and fair price for the changed or additional work. Additional or

Proposal & Construction Contract

changed work will only be performed upon the completion of a written Change Order executed by both Sub-Contractor and Contractor.

Section 7. **Insurance:** The Contractor shall purchase and maintain, in a company or companies lawfully authorized to do business in the jurisdiction in which the Project is located, property insurance, which shall be maintained until final payment has been made from Contractor to Sub-Contractor. Sub-Contractor shall purchase and maintain such insurance as will protect it from claims under workers' compensation acts and from claims for damages because of bodily injury, including death or injury to property which may arise from and during the operation of this Contract.

Section 8. **Indemnity:** Sub-Contractor shall indemnify and hold Contractor harmless against all claims, damage suits, actions, recoveries, and judgments to the extent resulting from the negligence of contractor, its agents, employees or subcontractors performing the work under this Contract. Sub-Contractor shall not be obligated to indemnify or defend Contractor for claims resulting from the negligence or misconduct of Contractor, Owner or Owner's agents.

Section 9. **Warranty:** Sub-Contractor warrants its work against all deficiencies and defects in materials and workmanship for a period of one year from the substantial completion of the Project. During the warranty period, Sub-Contractor agrees to repair or replace any or all of its work that may prove to be defective in its workmanship or material, together with any other adjacent work which may be displaced in so doing. This warranty is the sole and exclusive warranty provided by Sub-Contractor and Sub-Contractor disclaims any other warranties, express or implied, including, but not limited to, warranties of merchantability or fitness for a particular purpose.

Section 10. **Interpretation:** It is acknowledged by Sub-Contractor and Contractor that this Contract has been prepared by Sub-Contractor, however, in the event of any dispute over the meaning, construction, interpretation or application of any provision, the same shall be interpreted fairly and reasonably and neither more strongly for or against either party by virtue of the fact that the Contract has been drawn by Sub-Contractor and no presumption shall arise by reason of that fact.

Section 11. **Binding Agreement:** This Contract shall be binding upon and inure to the heirs, successors and assigns of the parties hereto. This Contract may not be assigned by Sub-Contractor or Contractor without prior written approval of both parties.

Section 12. **Claims and Disputes:** A claim (demand or assertion) by one party seeking adjustment or interpretation of Contract terms, payment of monies, extension of time or other relief with respect to the terms of the Contract, or any other dispute or matter in question between the Contractor and Sub-Contractor arising out of or relating to the Contract, must be initiated by written notice within 10 days of the date the party becomes aware of the basis for the claim. Any claim unresolved by the parties shall be decided by arbitration which, unless the parties mutually agree otherwise, shall be in accordance with the Construction Industry Arbitration Rules of the American Arbitration Association currently in effect. The demand for arbitration shall be filed in writing with the other party to the Contract and with the American Arbitration Association. The prevailing party shall be entitled to arbitration costs and reasonable attorneys' fees.

Section 13. **Laws and Regulations:** Sub-Contractor and Contractor shall comply with all Federal, State and local laws, ordinances, rules and regulations which govern or apply to the completion of the subject work. Should any provision of this Contract at any time during its term be in conflict with any such law, ruling or regulation, then such provision shall continue in effect only to the extent permitted. In the event any provision of this Contract is thus held inoperative, the remaining provisions of this Contract shall remain in full force and effect to the extent permitted by law.

Section 14. **Governing Law:** This Contract shall be governed by, construed and enforced in accordance with the laws of the State of Nevada. Venue for any dispute shall be Washoe County, Nevada.

Section 15. **Entire Agreement:** This Contract represents the entire agreement between Contractor and Sub-Contractor and supersedes any prior written or oral representations. By signing below, Contractor represents and agrees that the terms of this proposal and construction Contract are the sole and exclusive terms and conditions of the Contract and are not modified or amended by any other proposed Contract terms, whether oral or in writing, including any terms of any Purchase Order or other document prepared by Contractor or any third party relating to the contract work. This Contract may only be modified or

Proposal & Construction Contract

amended by a written modification or amendment (including, but not limited to, a Change Order) signed by both Sub-Contractor and Contractor.

CONTRACTORS ARE REQUIRED BY LAW TO BE LICENSED AND REGULATED BY THE CONTRACTORS' LICENSE BOARD WHICH HAS JURISDICTION TO INVESTIGATE THE COMPLAINTS AGAINST CONTRACTORS, AND ANY QUESTIONS CONCERNING A CONTRACTOR MAY BE REFERRED TO THE REGISTRAR, CONTRACTOR STATE LICENSE BOARD

IN WITNESS WHEREOF, the parties hereto have executed this Contract this _____ day of _____, at Sparks, Nevada.

City of Reno
Owner
1640 E. Commercial Row
Reno, NV 89512
775-334-2391

SIERRA NEVADA CONSTRUCTION, INC.
Subcontractor
P.O. Box 50760
2055 East Greg Street
Sparks, Nevada 89431
775-355-0420

By: _____

By: _____
Blaine Gillespie – Concrete Superintendent

Its: _____

NOTE: This document has important legal consequences. Consultation with an attorney prior to execution of this document is encouraged.



PROPOSAL

December 26, 2023

General Contractor:

City of Reno
PO Box 1900
Reno, NV. 89505

Phone: 775-560-6883

Email: tresleyd@reno.gov

Project: The Lear

Scope of Work

Inclusions:

- Disconnect and remove existing fused disconnects in basement of building.
- Supply and install (1) 200 amp indoor single phase load center to include new backer board in same location.
- Supply and install proper overcurrent sized circuit breakers for existing branch circuits.
- Supply and install (1) 50 amp 120/240 volt circuit from new load center in EMT conduit to exterior wall of building.
- Supply and install (1) 14-50R receptacle and outdoor enclosure on exterior wall of building.
- Price to include permit and fee.

Exclusions:

- Overtime labor if required.
- Load calculations and drawings if required.
- Drywall, paint, siding, or stucco repairs if required.

PROPOSED PRICE IS: \$8,638.69

Thank you for this proposal opportunity.

Action Electric's State of Nevada Contractor's License Limit is \$4,800,000.

All material is guaranteed to be as specified. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from the above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above the estimate. All agreements are contingent upon strikes, accidents, or delays beyond our control. Action Electric, Inc. has the right to terminate this contract for non-payment and will not incur damages for delays. Owner is to carry fire, tornado, and other necessary insurance. Our workers are fully covered by Worker Compensation Insurance.

Acceptance of Proposal – The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to as specified.

Payment Terms – Payment terms are as follows: If payment is not made within 30 days from the billing date, interest shall accrue on the unpaid amount at the rate of 2 % per month or the maximum rate allowed by law. Additionally, to the extent Action Electric, Inc. is required to incur any costs to collect any such unpaid amounts, all collection costs, expenses and fees, including, but not limited to attorney's fees, court costs, and other legal expenses and costs actually incurred by Action Electric, Inc. shall be awarded to Action Electric, Inc. and paid by the party accepting this proposal.

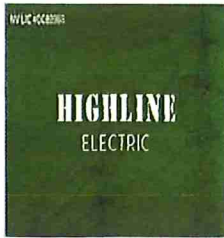
Residential Construction Recovery Fund: Payment may be available from the Recovery Fund if you are damaged financially by a project performed on your residence pursuant to a contract, including, construction, remodeling, repair or other improvements and the damage resulted from certain specified violations of Nevada law by a contractor licensed in this State. To obtain information relating to the Recovery Fund and filing a claim for recovery from the Recovery Fund, you may contact the State Contractors Board at the following locations: State Contractors' Board – 9670 Gateway Drive, Suite 100, Reno, NV 89521 775-688-1141 or 2310 Corporate Circle, Suite 200, Henderson, NV 89074 702-486-1100

Authorized Signature: K.M. Matthews

Note: This proposal may be withdrawn by us if not accepted within 30 days.

Signature: _____

Date: _____



CONSTRUCTION PROPOSAL

The Refurbished Home - 87 Pacific Ave, San Francisco, CA 94101
 P: (415) 456 7370 F: (415) 456 7371

CUSTOMER

City of Reno

DATE

3/15/2024

QUANTITY	DESCRIPTION	UNIT PRICE	AMOUNT
	200amp load center and breakers		\$408.20
	60 sub panel and breakers		\$84.85
	conduit, fittings and boxes		\$634.20
	wire		\$523.45
	wiring devices		\$72.95

SALESPERSON

Main Electric

PROJECT

501 Riverside Dr.

PREPARED BY:

Wayne

ATTENTION

Dan Tresley

PAYMENT TERMS

Net 30

SUBTOTAL \$1,723.65

THIS PROPOSAL INCLUDES THE CONDITIONS NOTED:

To fix riser on main panel To demo old electrical service in basement To install new 120/240 200 amp load center To intercept time existing time clock To install new 60 amp sub panel and run conduit from 200 amp load center To run new conduit from 60 amp panel to new recepts outside City of Reno responsible for scheduling NV energy to disconnect power off of main to fix damaged conduit

Labor **\$4,200.00**
TOTAL \$5,923.65

SIGN BELOW TO ACCEPT QUOTE:

AUTHORIZED REP

DATE

Historical Reference Images

CATHOLICS CALLED DEFENDERS OF TRUE HUMAN LIBERTIES

WASHINGTON, Oct. 12.—The Rev. John A. Ryan, president of the National Council of Catholic Bishops today called Catholicism the only religion that is a defender of the true human liberties.

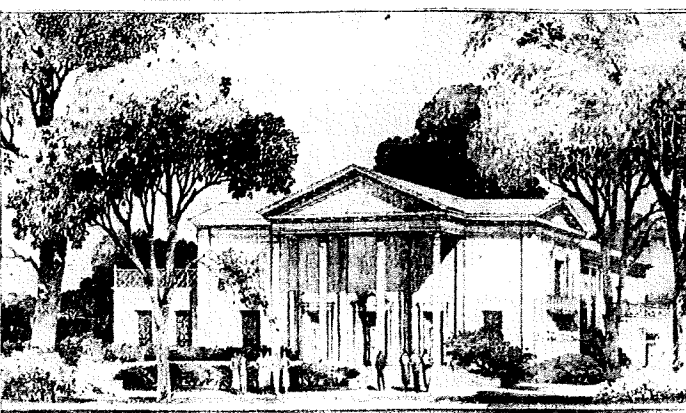
His letter, which was read at a convention opening the Golden Jubilee year of the Catholic Church in America, was interpreted by church officials as an indirect appeal to congressmen desiring liberty in the individual.

The report also ordered that one of those groups of university students, which are known as "Catholic Action" groups, be organized as "Catholic Action" groups, which are known as "Catholic Action" groups.

It is in the name of God himself that he calls out to the people of the world to defend the rights of the individual.

It is in the name of God himself that he calls out to the people of the world to defend the rights of the individual.

FUTURE HOME OF CHRISTIAN SCIENCE CHURCH



Planned here is the architect's drawing of the new Christian Science church on which construction was started several days ago.

CHURCH BUILDING WORK IS STARTED

Work has been started on the new Christian Science church at the corner of Madison and Riverside streets by the Walker-Bowditch Construction Company and it is expected that the new building will be completed within the next nine months.

POLICE OFFICER CAPTURES THIEF

CLEVELAND, Oct. 12.—Max Golden, 37, was arrested by Police Officer Robert J. Smith today because of a stolen automobile.

STRIKE CLOSES PLYMOUTH PLANT

PYRAMUS, Pa., Oct. 12.—The Plymouth automobile assembly and the Indiana Bigas Corporation plant here were closed today because of a strike called last Wednesday.

GLACIER HOLDS MISSING PLANE

BERNE, Switzerland, Oct. 12.—A wreckage of a German airplane missing since October 1 with ten passengers and a crew of three was sighted today high on a glacier near the Italian-Swiss border.

FEDERAL TESTS WILL BE GIVEN

The U. S. civil service commission has announced open competitive examinations for the positions named below.

NATIVES EXPRESS BRITISH LOYALTY

DAK-BE-SALAM, Tokomoro.—Former German East Africa—October 12.—British carrying parties expressing loyalty to Britain marched through the streets today to demonstrate against any transfer of the territory to Germany.

Gunners to Leave On Trailer Tour

Mr and Mrs J. E. Dunner will leave tomorrow on a trailer tour to New Orleans and points south and expect to be here for six months.

Having Wonderful Time—20,000,000 Americans

"Having Wonderful Time"—20,000,000 Americans. WE THINK YOU have a wonderful time at the Golden Gate International Exposition next year—you and 19,999,999 other people.

BOSTON COLLEGE DEFEATS DETROIT

BOSTON, Oct. 12.—Felix Gintz's teaming performance placed Boston College in the lead for the championship of the nation.

CONVICT HUNTED IN DEATH CASE

ALBUQUERQUE, N. M., Oct. 12.—A search for a convicted felon was begun today by federal agents in the hunt for the slayer of Virgil A. Vaughn, town-warden of Baldwin, Kan. Two days after his escape was found near Bedford, Ark. three months ago.

Campfire Girls Groups Entertain

The We-To-Me-Crle Campfire Girls group entertained a picnic today at a camp north of Reno last evening. The girls were entertained by the young people. They carried flashlight.

GREEK PASTOR FASTS 10 DAYS

PALMYRA, Pa., Oct. 12.—Pastor George G. Gribble, of the Episcopal Church in Palmyra, Pa., is observing the tenth day of a fast today.

TWO MEN DEAD AS DIRT CAVES

ATLANTA, Ga., Oct. 12.—Two men were killed last night in a cave in an old mine near the city.

PAIR SEPARATES AFTER 50 YEARS

SAN DIEGO, Cal., Oct. 12.—After 50 years of marriage, the Rev. and Mrs. J. J. Gribble today announced that they were separating.

SUBWAY PROJECT WINS SUPPORT

WASHINGTON, Oct. 12.—The subway project in New York City has won the support of the House of Representatives today.

SPARKS THEATRE ENDS TOUR

THEATRE ENDS TOUR. "TOY WIFE" TOON LITE TO CLASSIFY

GRANADA TODAY and TOMORROW THE SHOW GOES ON

New Show Tonight CLUB MONTE CARLO

WIGWAM 20% TODAY and TOMORROW

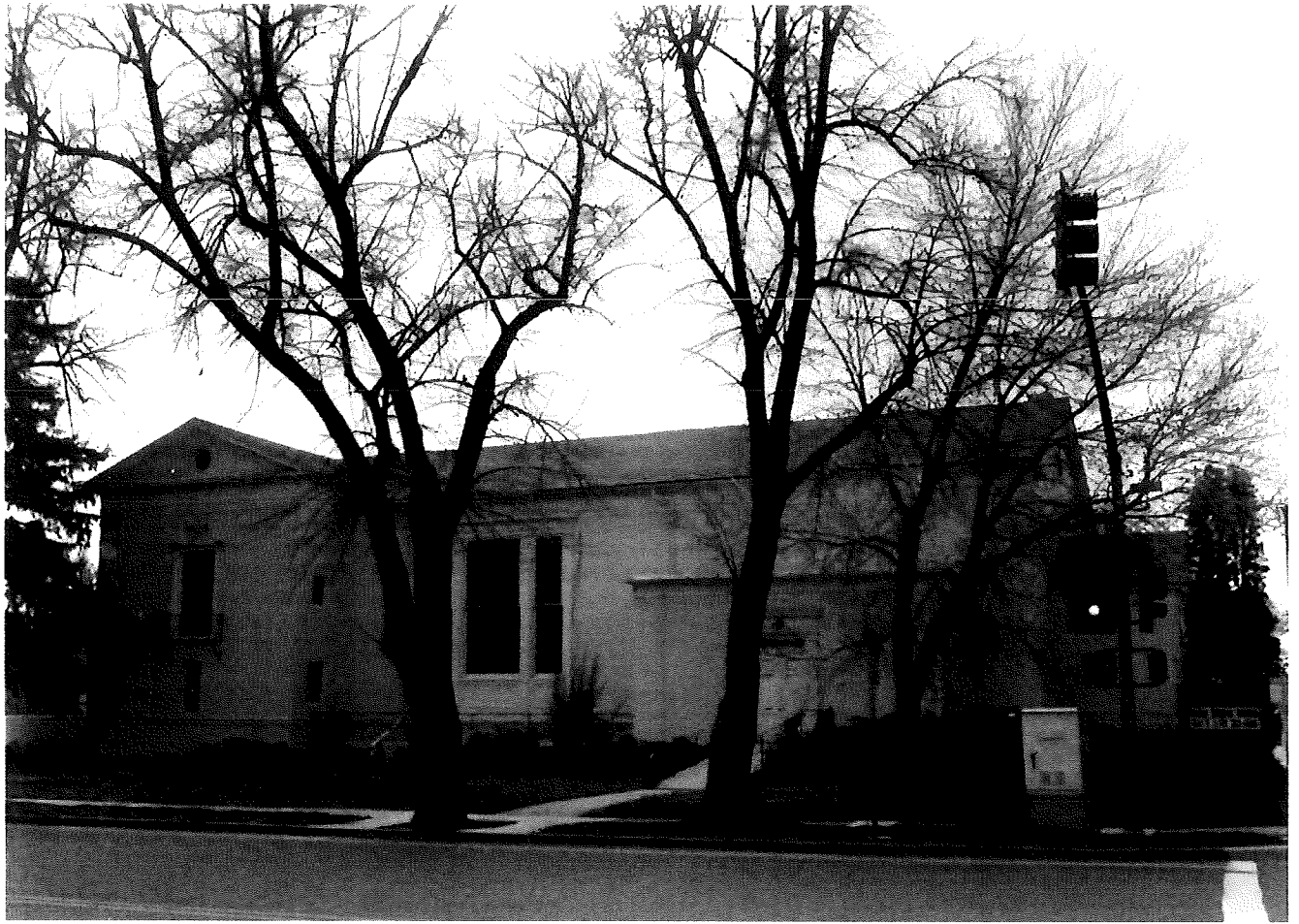
MAJESTIC GRANADA WELCOME NATIONAL RECLAMATION ASSOCIATION

MAJESTIC THEATRE "RECLAMATION IN THE ARID WEST"

WIGWAM THEATRE "BOULDER DAM"

Sing YOU SINNERS









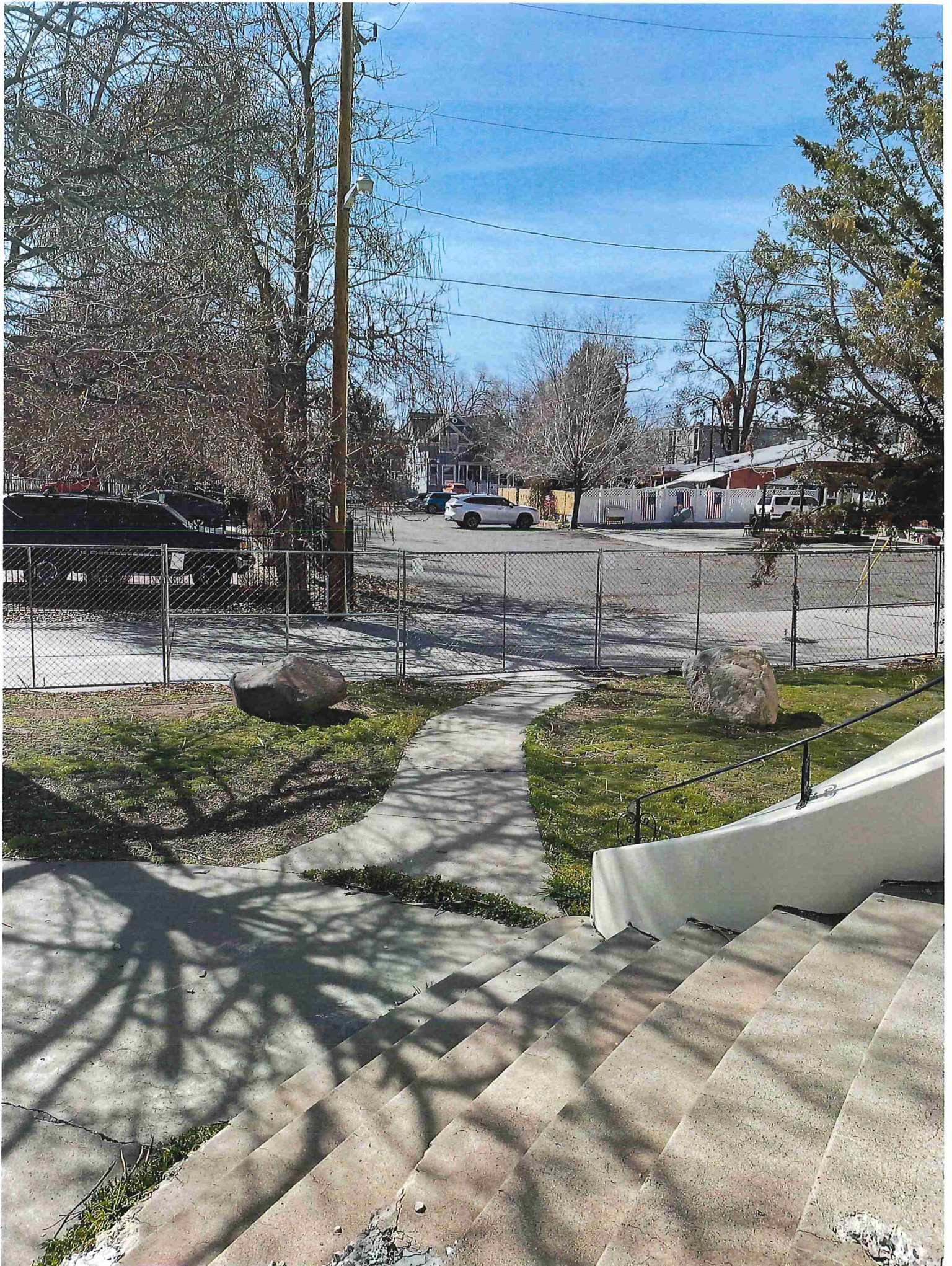
Existing Conditions Images















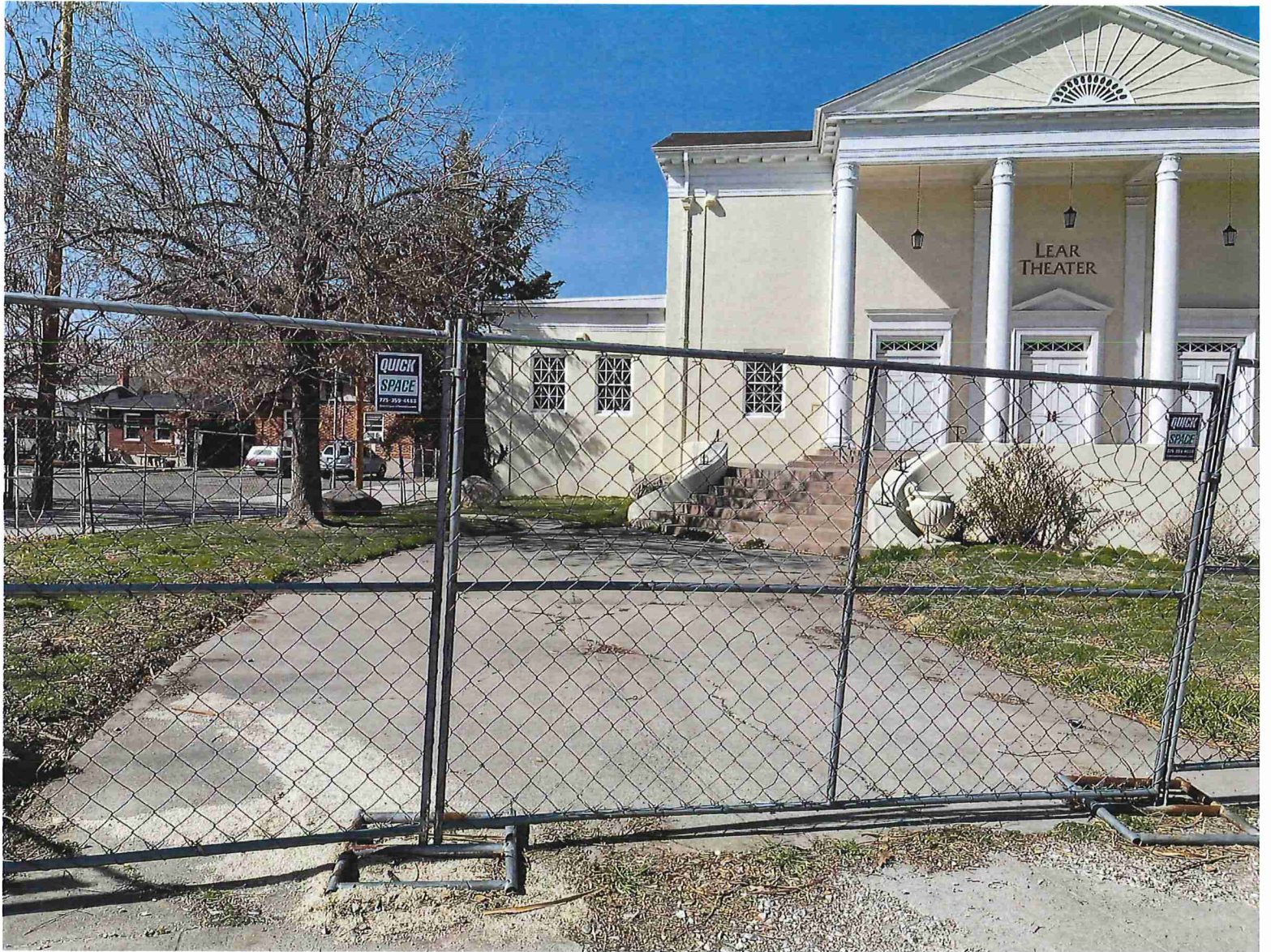












QUICK
SPACE
775-359-5443

QUICK
SPACE
775-359-5443

LEAR
THEATER

