

AGENDA ITEM 7

COMSTOCK HISTORIC DISTRICT COMMISSION
P.O. BOX 128
VIRGINIA CITY, NEVADA 89440

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Pursuant to Nevada Revised Statutes Section 384.110, application is hereby made to the Comstock Historic District Commission for a Certificate of Appropriateness for work I propose to undertake as described below:

Property address/description 565
655 D Street, Virginia City, Nevada 89440 - Parcel 001-057-01 (Chollar Mansion)
Located in the community of Virginia City, Nevada

Description of proposed work:

☐ New Structure _____

☐ Alteration of / Addition to Existing Structure _____

1. Repair, replacement, and expansion of existing wooden porches and guardrails on both the first and second floors on east side .
of the building. The proposed 3' expansion of the deck at the east side of the existing building will eliminate the need to rebuild
the existing deteriorated deck foundation wall, thereby avoiding disruption of existing soils supporting the existing porch foundation
and more importantly, the potential for compromising the soils and footings supporting the building.

☐ Move Existing Structure _____

(Reason) _____

☐ Demolish Existing Structure _____

(Reason) _____

By making this application I hereby agree to indemnify and save and hold harmless the State of Nevada and the Counties of Lyon and Storey and their agents and employees from any and all claims, causes of action or liability arising from the granting of this application. I further agree to strictly comply with any and all conditions of the *Certificate of Appropriateness*, if issued, and the regulations and laws of the Comstock Historic District Commission.

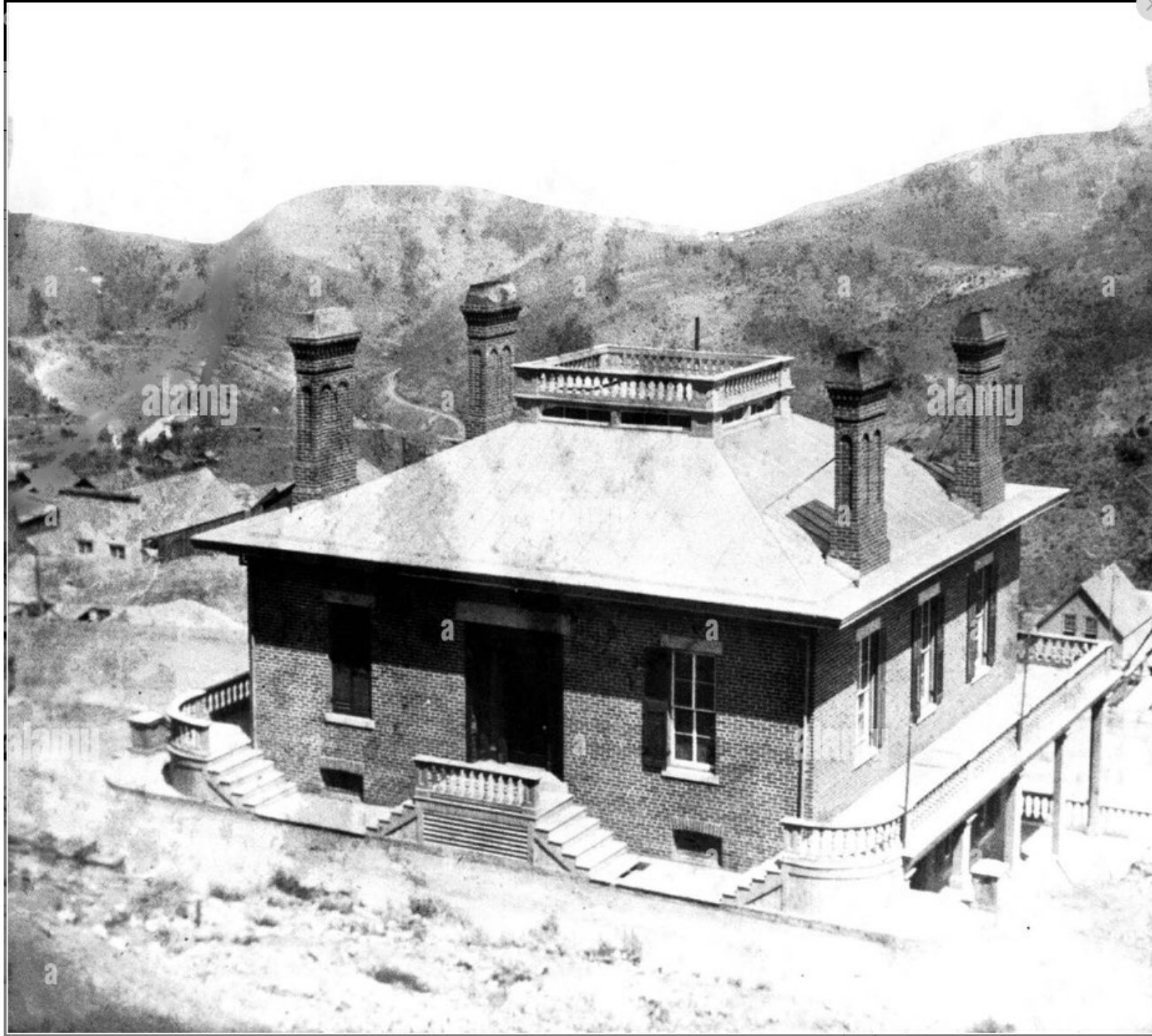
Owner or Designated Representative:

Name Gregory Erny FAIA NCARB - Project Architect Date 05-07-2024

Mailing Address 35 Martin St., Reno, Nevada 89509

Signature Gregory L. Erny Telephone 775-329-8001

CHDC Staff:
Received By kbrown Title Comstock Preservation & History Officer Date 5/7/24















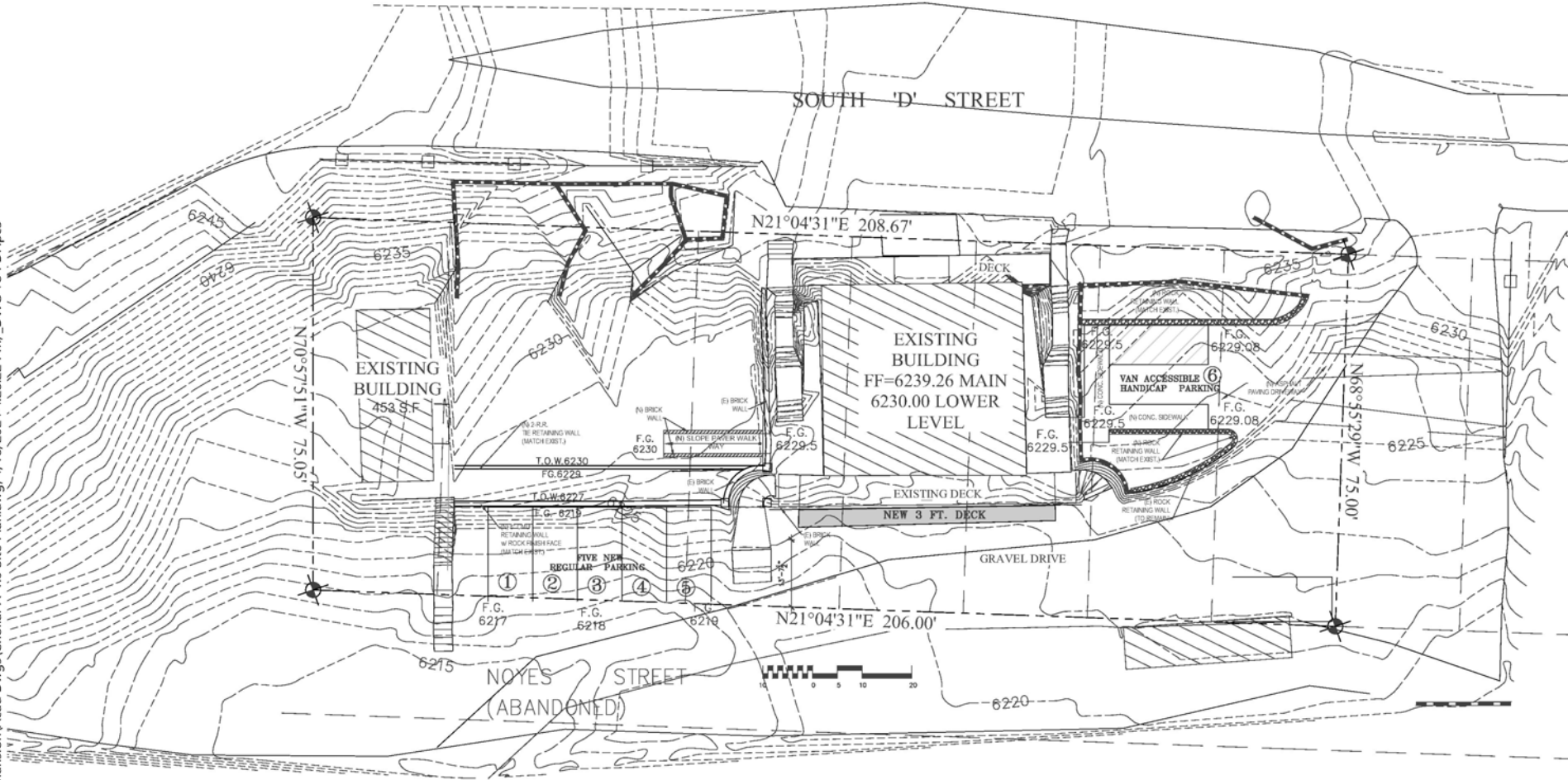










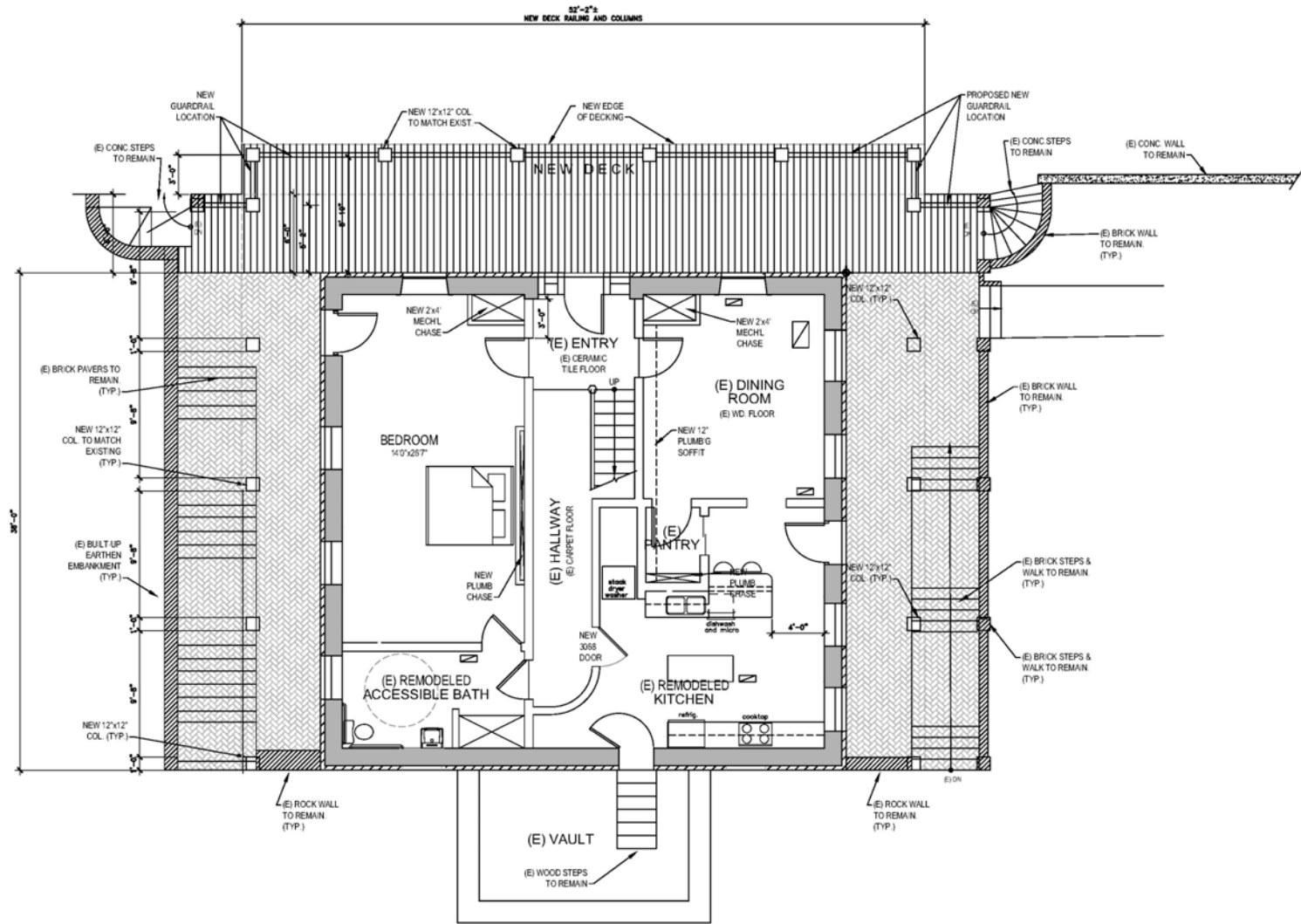


1 EXISTING SITE PLAN
SCALE: 1"=10'-0"



SCHEMATIC DESIGN - NOT FOR CONSTRUCTION - 04/18/24

revisions	
architects + llc environmental designers	
320 Meritt Street Reno, NV 89509 775-329-8801 775-329-8892 fax	
TELAVITY REGISTERED	
project: CHOLLAR MANSION Building Renovation and Modernization 565 D Street Virginia City, Nevada 89440	
sheet title EXISTING SITE PLAN	
drawn by KJP	checked by OLE
date 01/26/2024	
job no. CHOLLAR MANSION	
sheet A-1.0	



1 PROPOSED 1st. FLOOR PLAN
SCALE: 1/4" = 1'-0"



SCHEMATIC DESIGN - NOT FOR CONSTRUCTION - 04/18/24

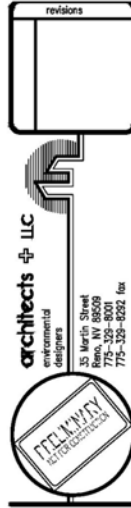
project: CHOLLAR MANSION

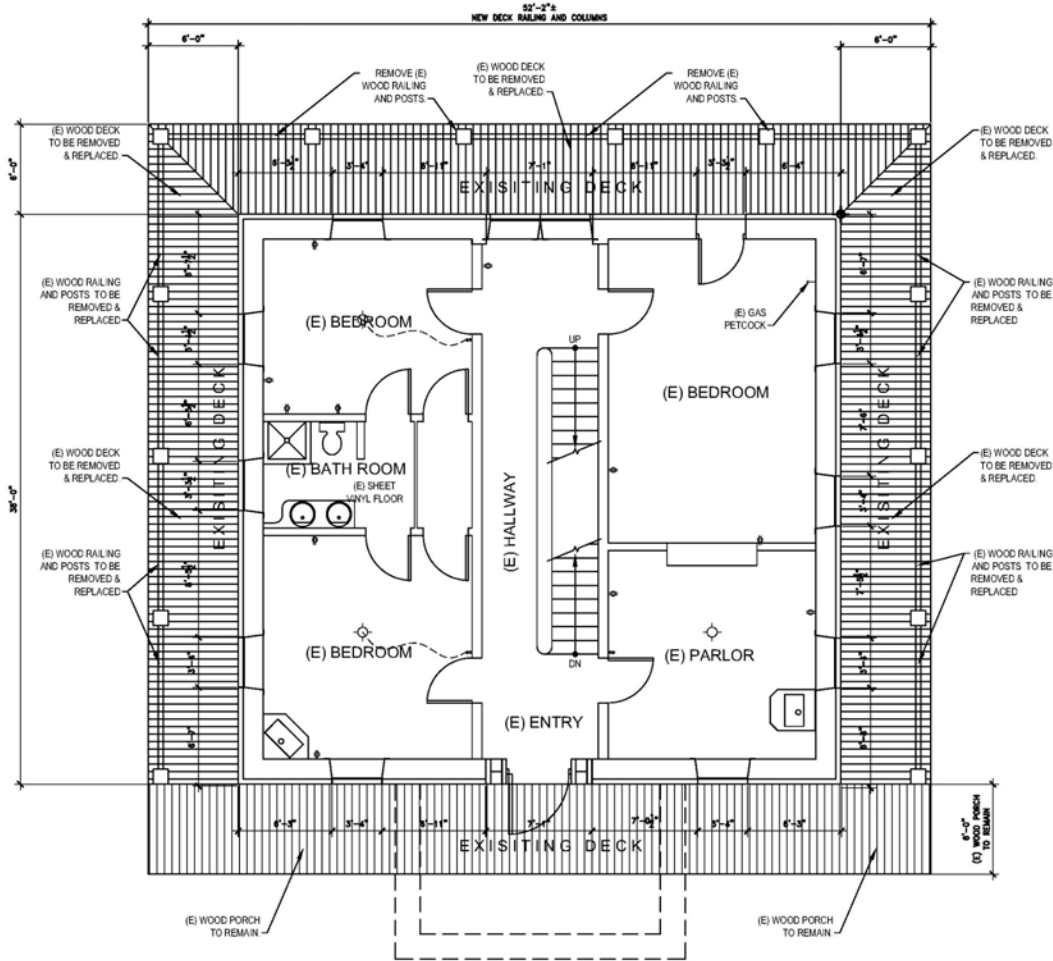
Building Renovation
and Modernization
565 D Street
Virginia City, Nevada 89440

sheet title
1st. FLOOR PLAN

drawn by
KJP
checked by
GLE
date
01/26/2024
job no.
CHOLLAR MANSION
sheet:

A-2.0.1





1 EXISTING 2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"



SCHEMATIC DESIGN - NOT FOR CONSTRUCTION - 04/18/24

project: CHOLLAR MANSION

Building Renovation
and Modernization
565 D Street
Virginia City, Nevada 89440

short title
EXISTING
2nd FLOOR PLAN

drawn by
KJP
checked by
GLE
date
01/26/2024
job no.
CHOLLAR MANSION
sheet

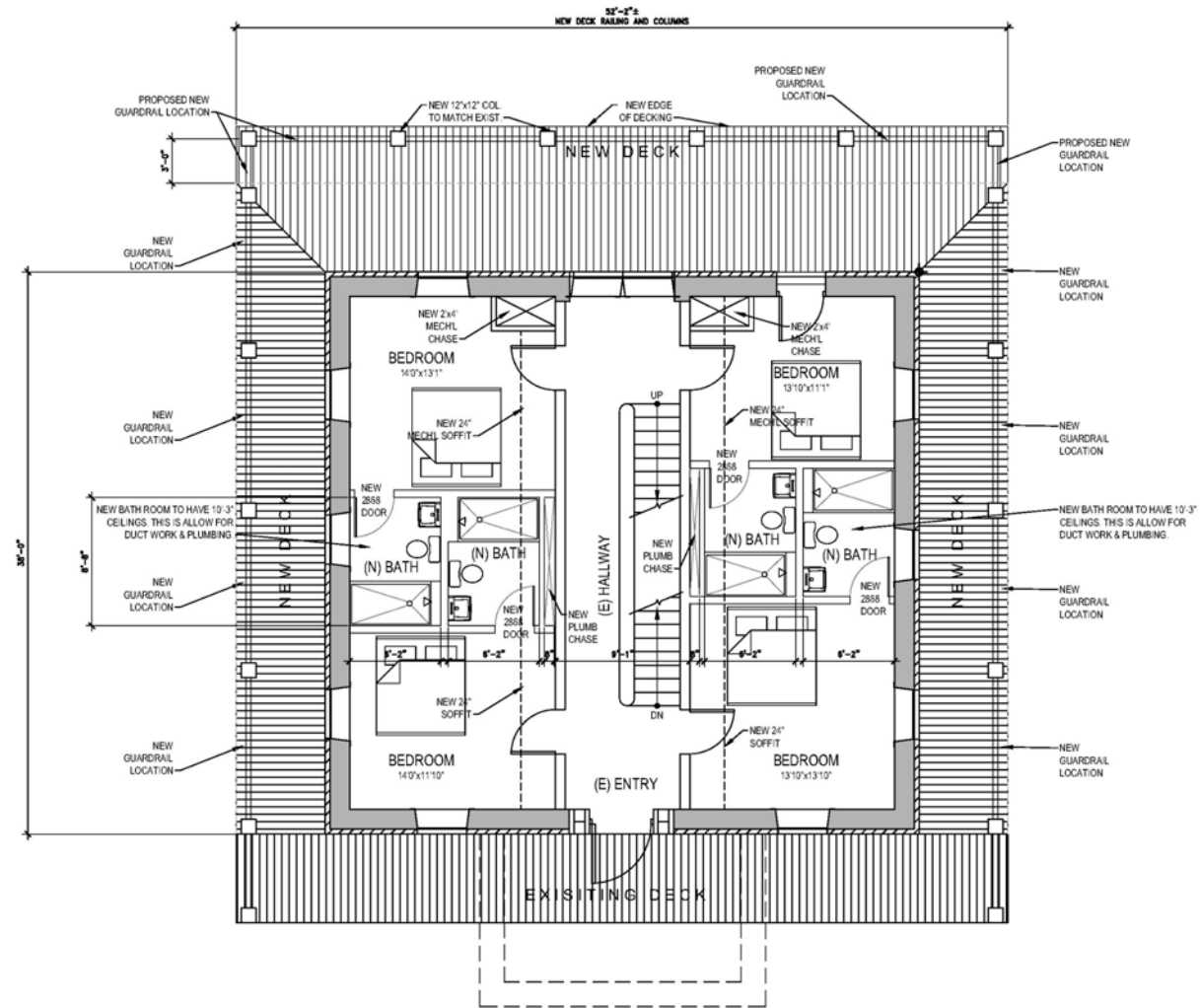
A-2.1.0



architects + llc
environmental
designers

33 Martin Street
Las Vegas, NV 89101
775-329-8201
775-329-8292 fax

revisions



1 PROPOSED 2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"

SCHEMATIC DESIGN - NOT FOR CONSTRUCTION - 04/18/24

project: APN: 001-057-01

CHOLLAR MANSION
Building Renovation
and Modernization
565 D Street

and Moderniz
565 D Street

303 D Street
Virginia City, Nevada 89440

APN: 001-057-01

2nd. FLOOR PLAN

drawn by
KJP

checked by
GLE

date
01/26/2024

job no.
CHOLLAR MANSION

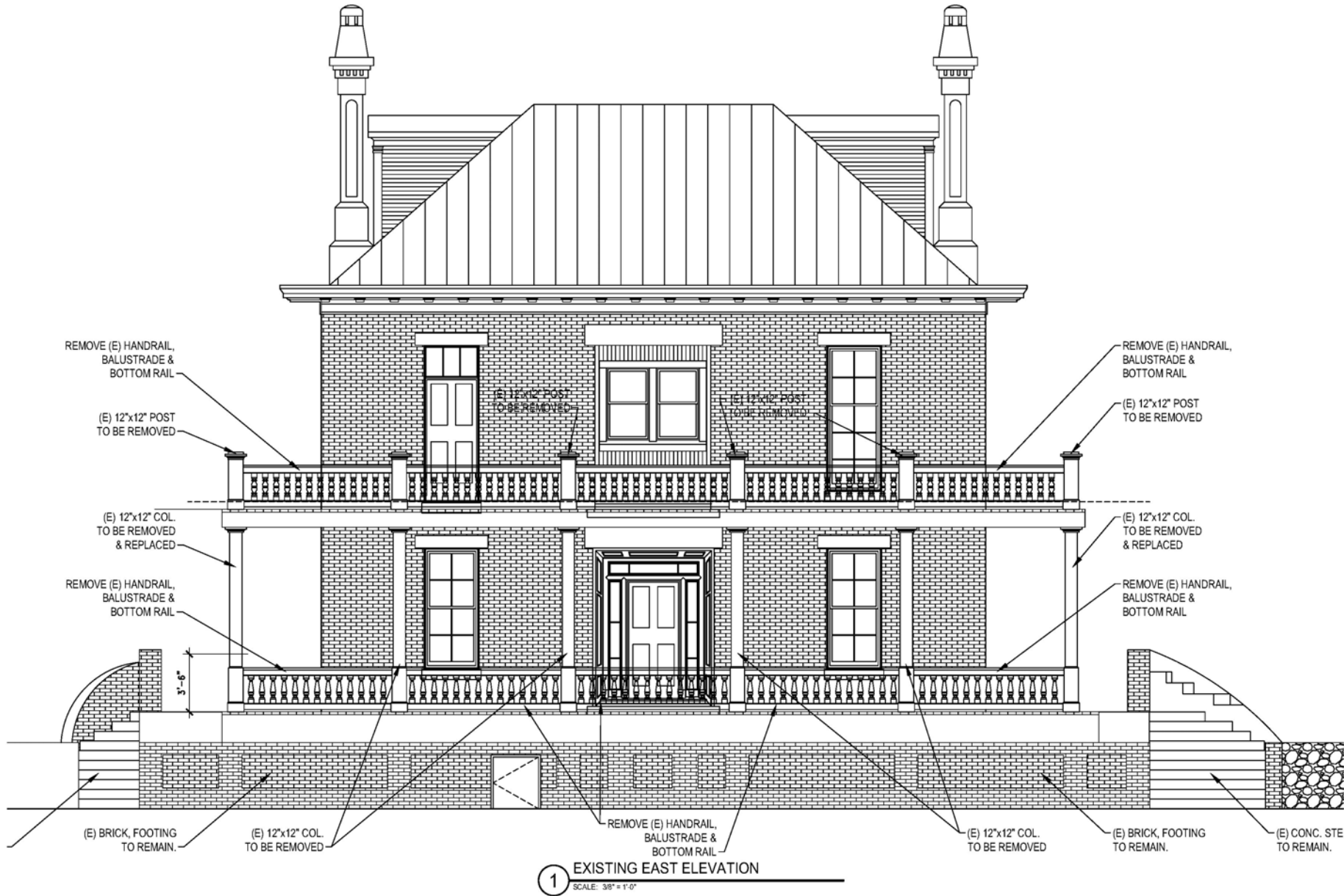
sheet

A-2.1.1

architects + llc
environmental
designers

35 Martin Street
Reno, NV 89509
775-329-8001
775-329-8292 fax





SCHEMATIC DESIGN - NOT FOR CONSTRUCTION - 04/18/24

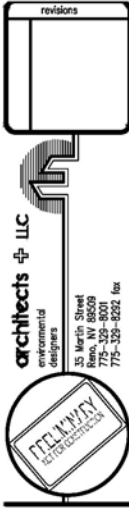
project: CHOLLAR MANSION

Building Renovation
and Modernization
565 D Street
Virginia City, Nevada 89440

sheet title
EXISTING
EAST
ELEVATION

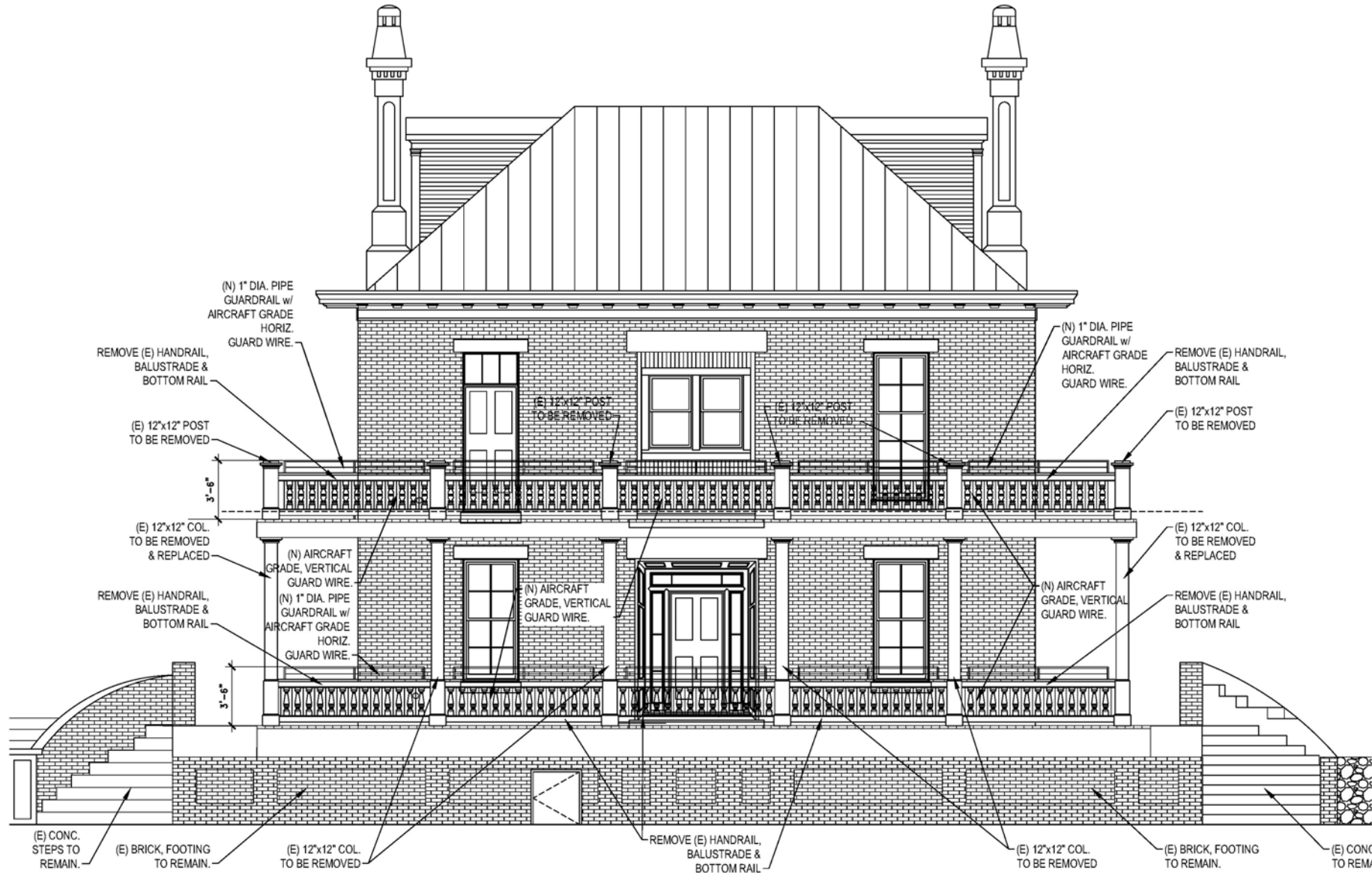
drawn by
KJP
checked by
GLE
date
01/26/2024
job no.
CHOLLAR MANSION
sheet

A-3.0.0



architects + llc
environmental
designers

33 Martin Street
Las Vegas, NV 89101
775-329-8201
775-329-8252 fax



1 PROPOSED EAST ELEVATION (Option-B)
SCALE: 3/8" = 1'-0"

SCHEMATIC DESIGN - NOT FOR CONSTRUCTION - 04/18/24

project: CHOLLAR MANSION

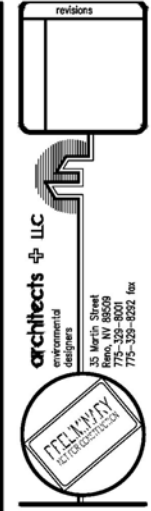
APN: 001-007-01

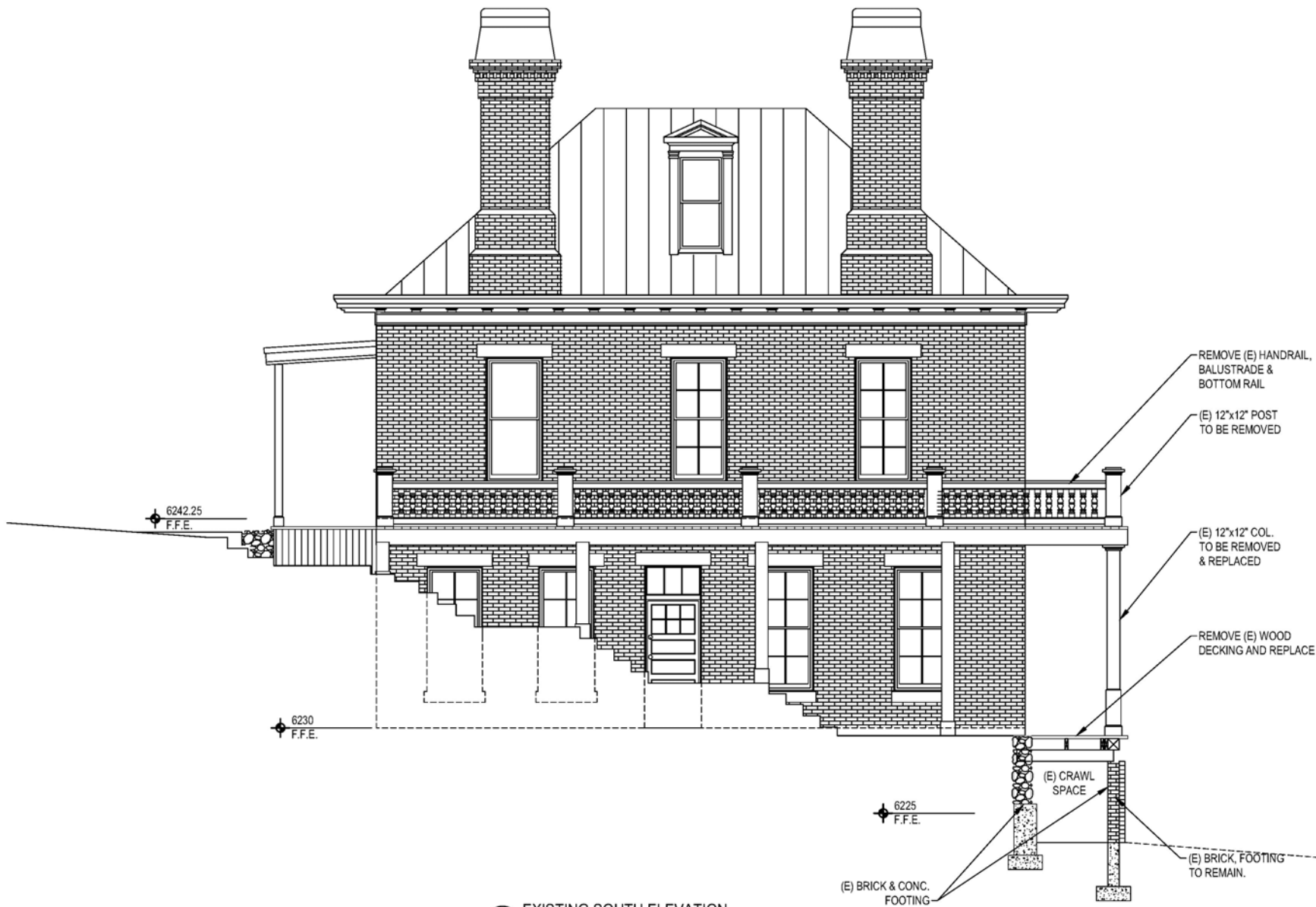
Building Renovation
and Modernization
565 D Street
Virginia City, Nevada 89440

sheet title
EAST
EXTERIOR
ELEVATION

drawn by
KJP
checked by
GLE
date
01/26/2024
job no.
CHOLLAR MANSION
sheet

A-3.0.1





1 EXISTING SOUTH ELEVATION
SCALE: 3/8" = 1'-0"

SCHEMATIC DESIGN - NOT FOR CONSTRUCTION - 04/18/24

APN: 001-067-01

project: CHOLLAR MANSION

Building Renovation
and Modernization

565 D Street

Virginia City, Nevada 89440

sheet title
EXISTING
SOUTH
ELEVATION

drawn by
KJP

checked by
GLE

date
01/26/2024

job no.
CHOLLAR MANSION

sheet
A-3.1.0

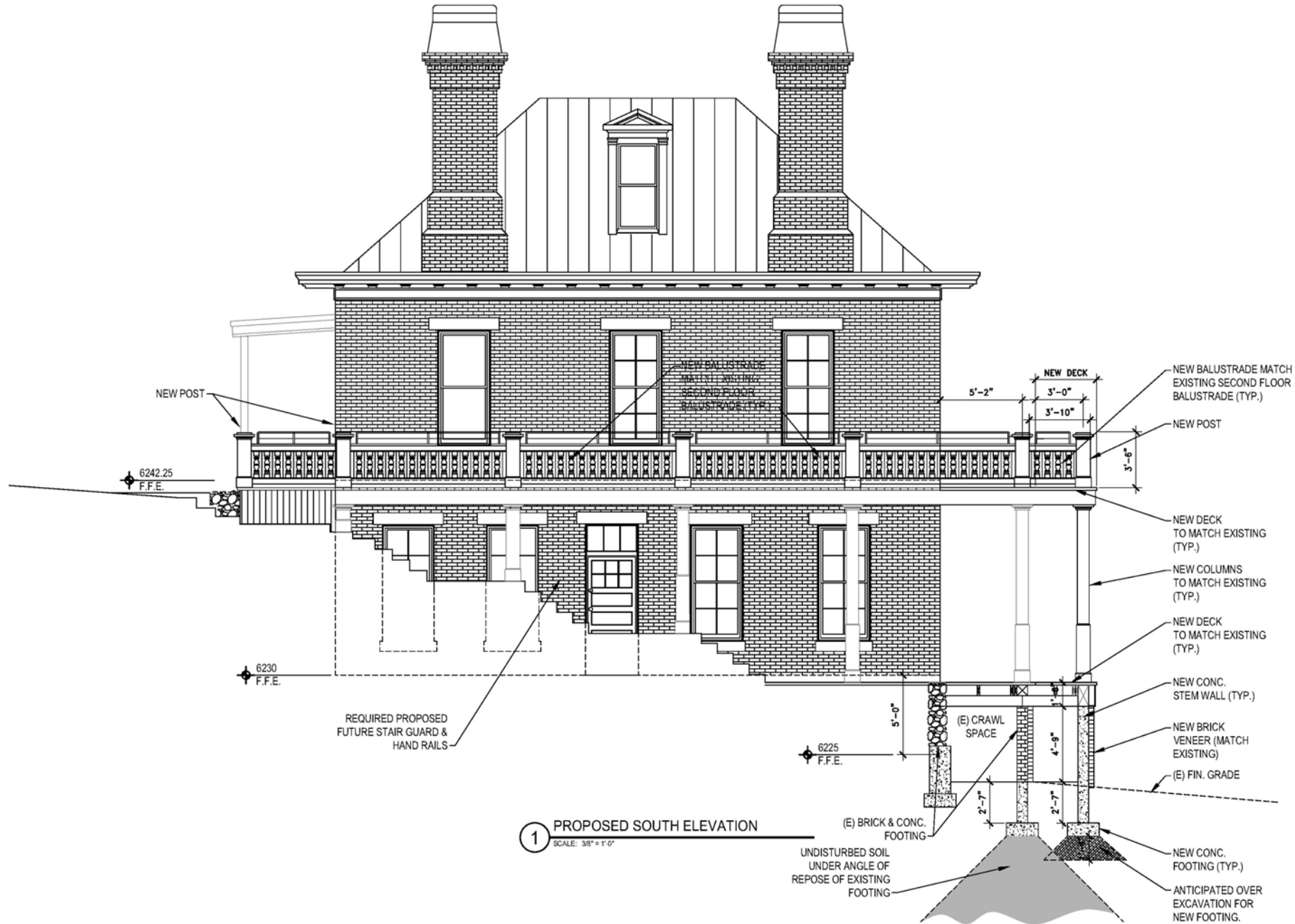


architects + llc

environmental
designers

33 Martin Street
Las Vegas, NV 89101
775-329-8201
775-329-8292 fax

revisions



SCHEMATIC DESIGN - NOT FOR CONSTRUCTION - 04/18/24

project: CHOLLAR MANSION

Building Renovation
and Modernization
565 D Street
Virginia City, Nevada 89440

sheet title
SOUTH
EXTERIOR
ELEVATION

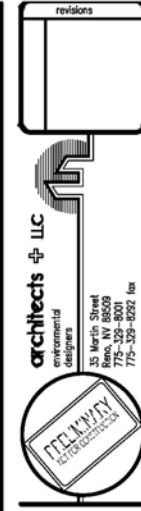
drawn by
KJP

checked by
GLE

date
01/26/2024

job no.
CHOLLAR MANSION

sheet
A-3.1.1



33 Martin Street
Napa, CA 94558
775-325-8201
775-325-8252 fax



1 EXISTING WEST ELEVATION
SCALE: 3/8" = 1'-0"

SCHEMATIC DESIGN – NOT FOR CONSTRUCTION – 04/18/24

project: CHOLLAR MANSION

Building Renovation
and Modernization
565 D Street
Virginia City, Nevada 89440

APN: 001-007-01

sheet title
EXISTING
WEST
ELEVATION

drawn by
KJP
checked by
GLE
date
01/26/2024
job no.
CHOLLAR MANSION
sheet

A-3.2.0



architects + llc

environmental
designers
33 Martin Street
Reno, NV 89509
775-329-8201
775-329-8292 fax

revisions



1 PROPOSED WEST ELEVATION
SCALE: 3/8" = 1'-0"

SCHEMATIC DESIGN - NOT FOR CONSTRUCTION - 04/18/24

project: CHOLLAR MANSION

Building Renovation
and Modernization
565 D Street
Virginia City, Nevada 89440

APN: 001-007-01

sheet title
WEST
EXTERIOR
ELEVATION

drawn by
KJP
checked by
GLE
date
01/26/2024
job no.
CHOLLAR MANSION
sheet

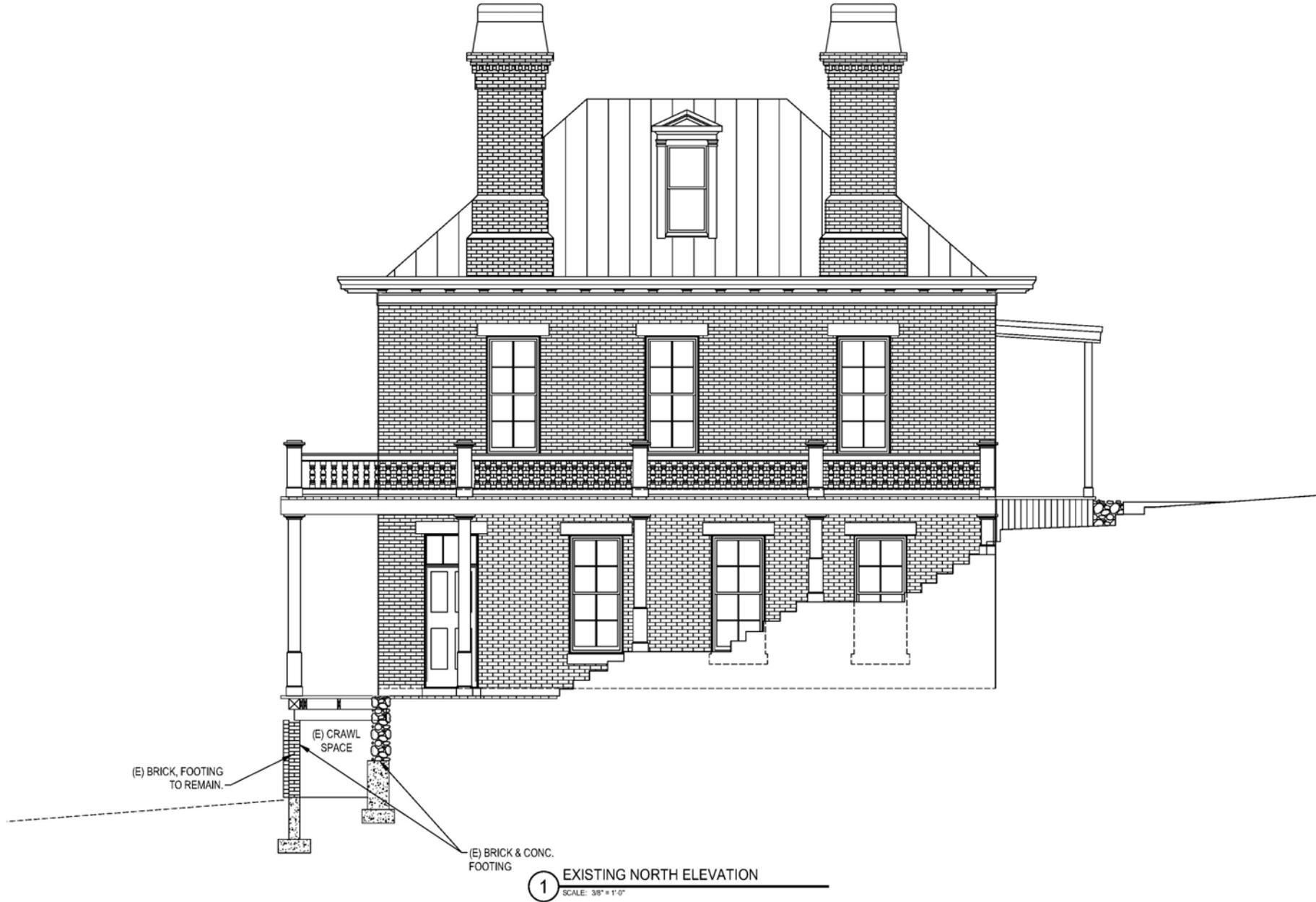
A-3.2.1



architects + llc
environmental
designers

33 Martin Street
Reno, NV 89509
775-329-8201
775-329-8292 fax

revisions



SCHEMATIC DESIGN - NOT FOR CONSTRUCTION - 04/18/24

APN: 001-007-01

project: CHOLLAR MANSION

Building Renovation

and Modernization

565 D Street

Virginia City, Nevada 89440

short title
EXISTING
NORTH
ELEVATION

drawn by
KLP

checked by
GLE

date
01/26/2024

job no.
CHOLLAR MANSION

sheet
A-3.3.0

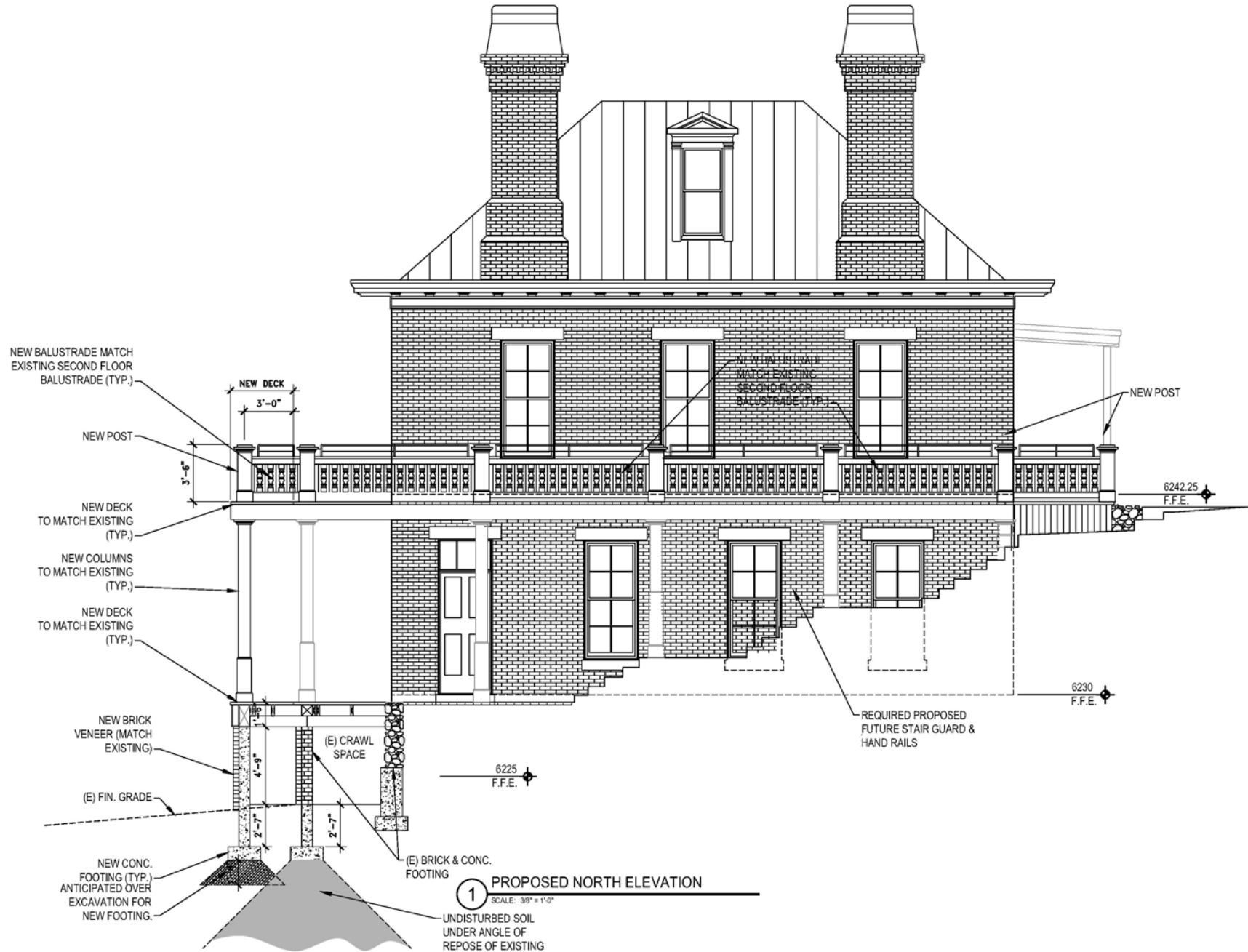


architects + llc

environmental
designers

33 Martin Street
Reno, NV 89509
775-329-8201
775-329-8292 fax

revisions



SCHEMATIC DESIGN - NOT FOR CONSTRUCTION - 04/18/24

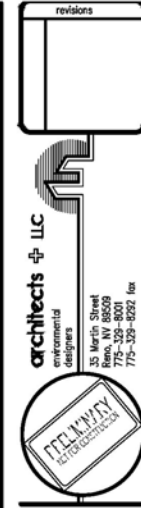
project: CHOLLAR MANSION

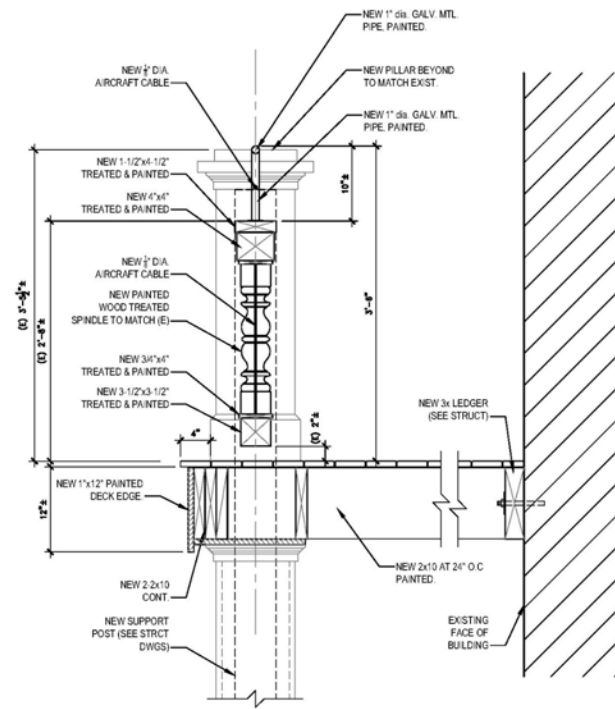
Building Renovation
and Modernization
565 D Street
Virginia City, Nevada 89440

sheet title
NORTH
EXTERIOR
ELEVATION

drawn by
KJP
checked by
GLE
date
01/26/2024
job no.
CHOLLAR MANSION
sheet

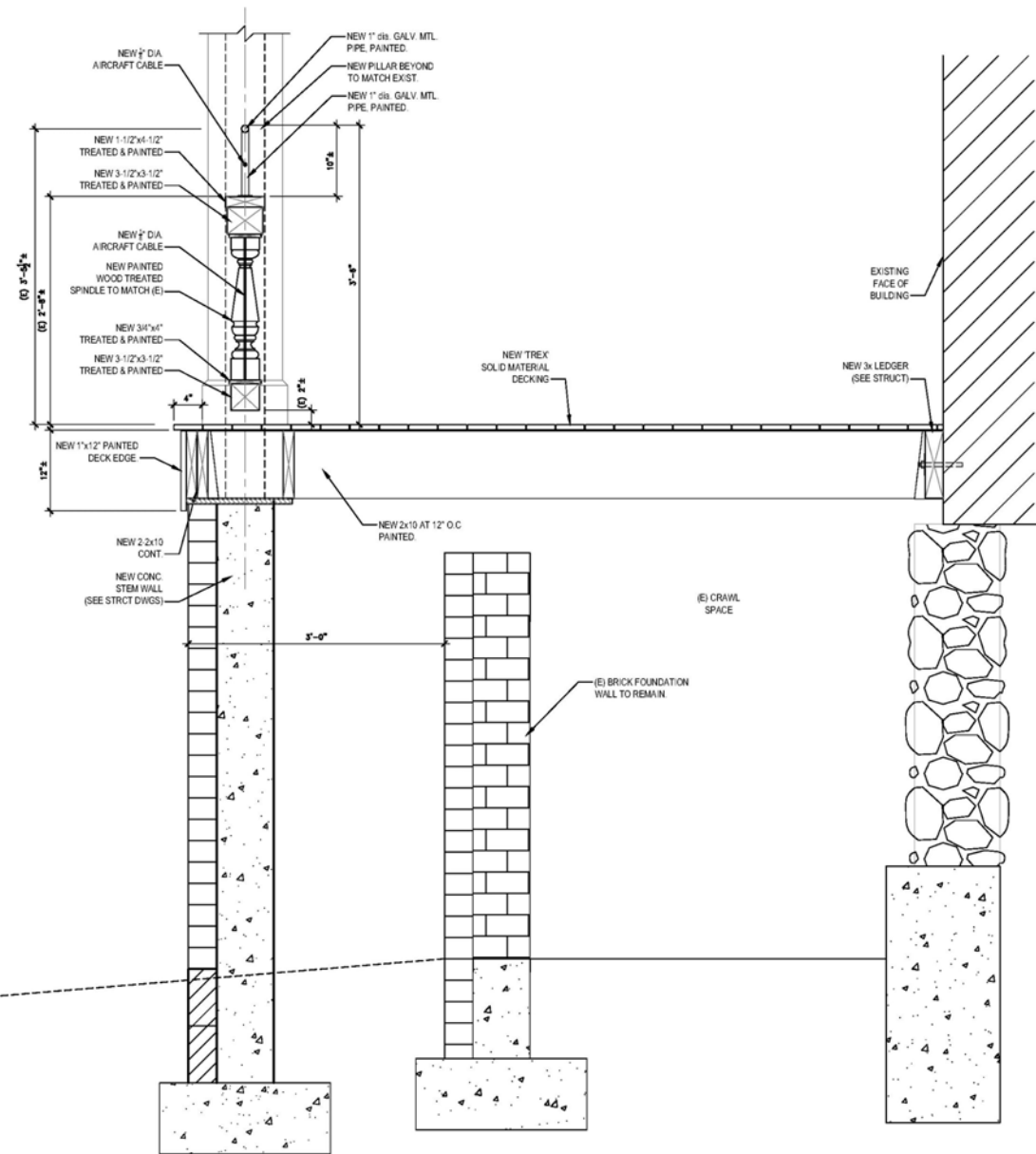
A-3.3.1





2 2nd FLOOR DECKING DETAIL
SCALE: 1-1/2" = 1'-0"

SCALE: 1-1/2" = 1'-0"



1 1st FLOOR DECKING DETAIL
SCALE: 1-1/2" = 1'-0"

SCALE: 1-1/2" = 1'-0"

SCHEMATIC DESIGN – NOT FOR CONSTRUCTION – 04/25/24

project: APN: 001-057-01

CHOLLAR MANSION
Building Renovation
and Modernization
5665 D Street
Virginia City, Nevada

565 D Street

Virginia City, Nevada 89440

APN: 001-057-01

sheet title
1st & 2nd
FLOOR DECK SECTIONS

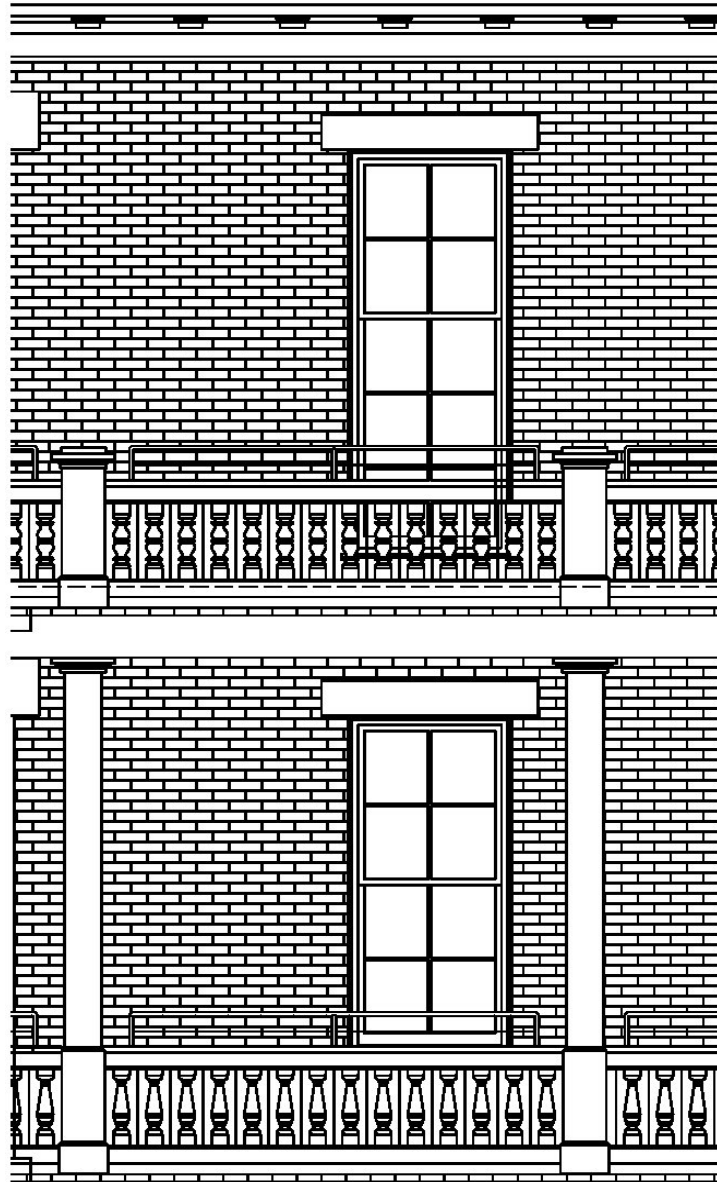
drawn by	KJP
checked by	GLE
date	01/26/2024
job no.	CHOLLAR MANSION
sheet	

A-4.0

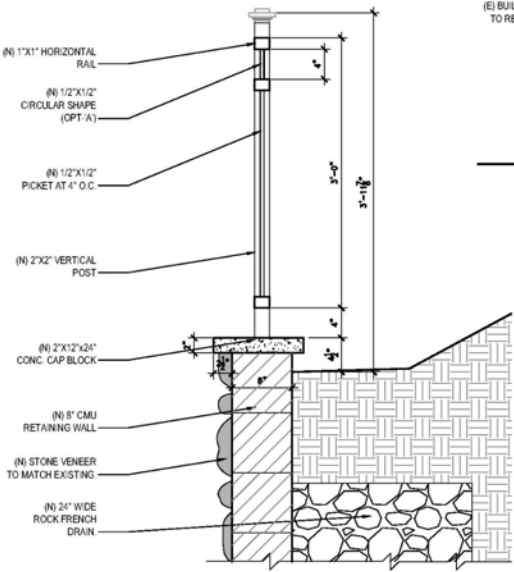
architects + llc
environmental
designers

35 Martin Street
Reno, NV 89509
775-329-8001

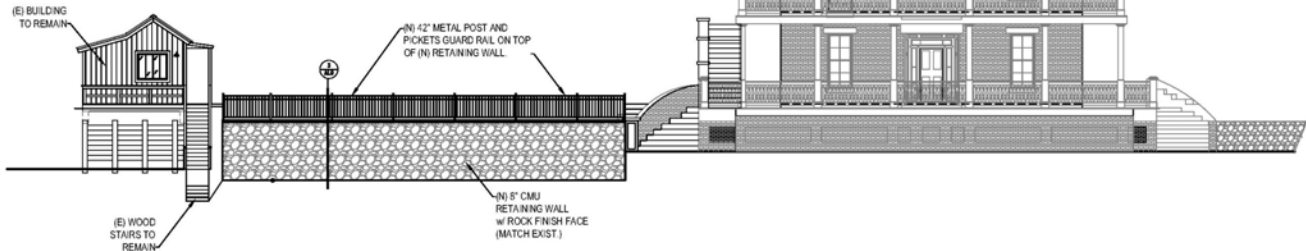




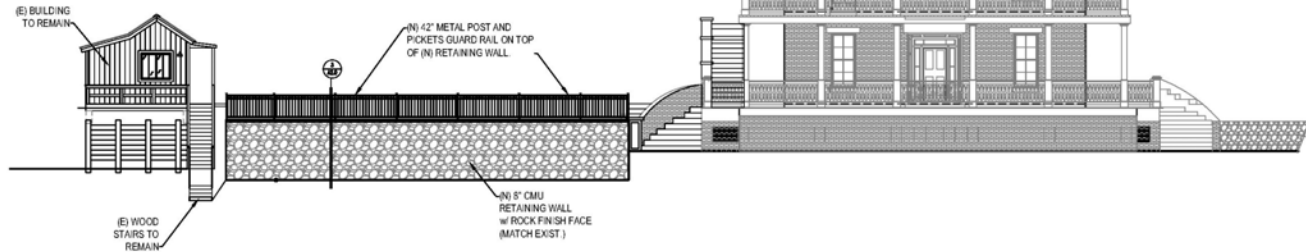
Main Bldg. Gurard Rail Elevation
Not To Scale



3 GUARD RAIL DETAIL
SCALE: 1/8" = 1'-0"



2 GUARD RAIL ELEVATION (OPTION-B')
SCALE: 1/4" = 1'-0"



1 GUARD RAIL ELEVATION (OPTION-A')
SCALE: 1/8" = 1'-0"

SCHEMATIC DESIGN - NOT FOR CONSTRUCTION - 04/25/24

APN: 001-007-01

project: CHOLLAR MANSION

Building Renovation
and Modernization
565 D Street
Virginia City, Nevada 89440

short title
GUARD RAIL
ELEVATIONS

drawn by
KJP
checked by
GLE
date
01/26/2024
job no.
CHOLLAR MANSION
sheet

A-4.1

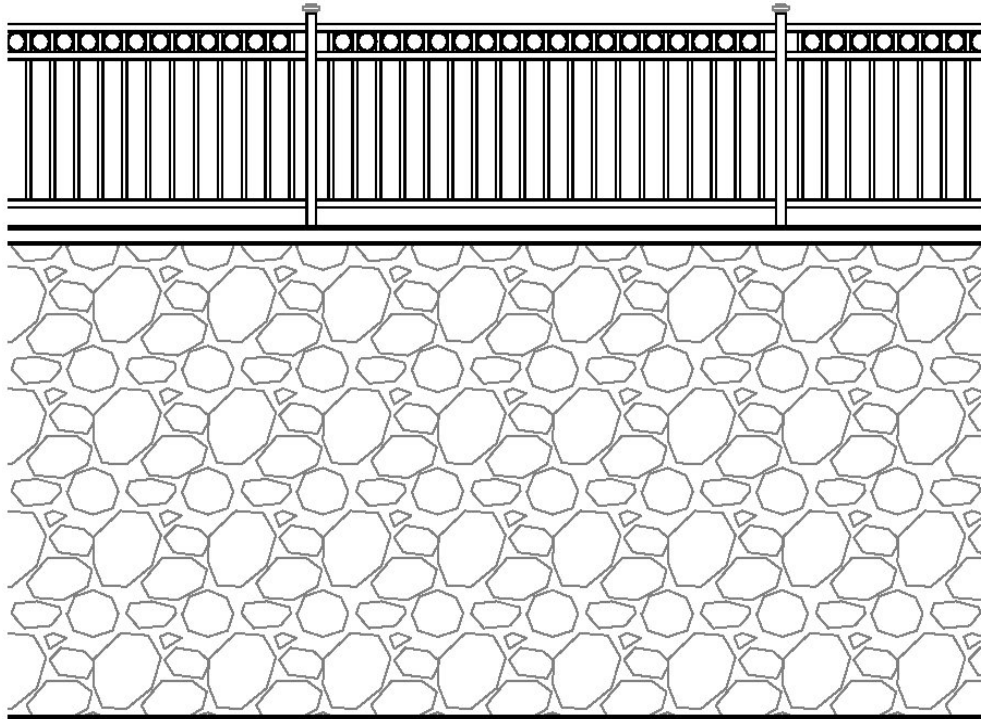
architects + llc
environmental
designers

775-329-8201
775-329-8202 fax

330 Martin Street
Reno, NV 89501

revisions

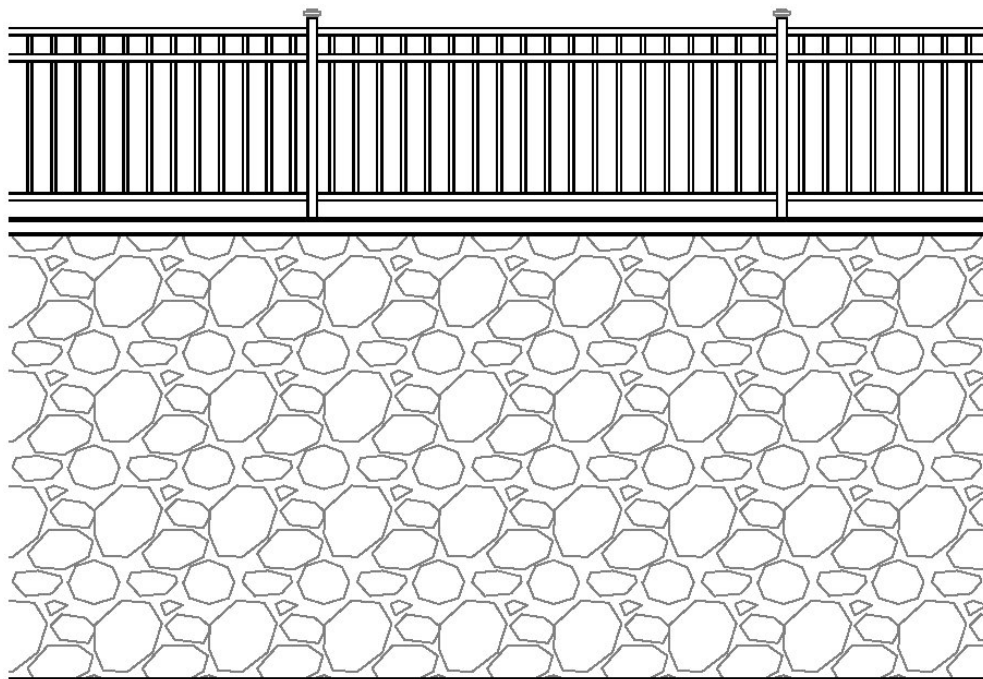
TELAVIV
ARCHITECTURE



Retaining Wall Elev. Opt-A

Not To Scale





Retaining Wall Elev. Opt-B
Not To Scale





Figure 19. Historic porches generally have railings that measure 28 to 30 inches in height from the floor. When additional height is necessary for safety, a simple rail, added for illustration purposes in this photograph, can usually be installed above the historic railing. Not only does this treatment allow retention of the historic balustrade, but it also has a minimum impact to the appearance of the porch. Photo: Charles Fisher.

National Park Service guidance on the correct way to alter railings to meet code while meeting the *Secretary of the Interior's Standards*



Example of this approach used on another porch



The type of thin cable to be installed between each baluster

A new concrete wall could be poured adjacent to the existing brick porch wall, and tied to the brick via epoxy and masonry anchors. The porch would then rest on the new wall, and the historic brick wall could be repointed and left in place.



New vertical support posts and a new wood beam could be installed alongside the existing brick wall. The porch load would then rest on the new beam, and the historic brick wall could be repointed and left in place.

