

## AGENDA ITEM 12

STATE OF NEVADA  
COMSTOCK HISTORIC DISTRICT COMMISSION  
P.O. BOX 128  
VIRGINIA CITY, NEVADA 89440

### CERTIFICATE OF APPROPRIATENESS APPLICATION

Pursuant to Nevada Revised Statutes Section 384.110, application is hereby made to the Comstock Historic District Commission for a Certificate of Appropriateness for the work proposed below.

Building Address and/or APN: 450 S E STREET

Located In:

- Virginia City  
 Gold Hill  
 Silver City  
 Dayton

Building Description (e.g., name of building, type of building): RESIDENTIAL

Building's Date of Construction: 2007

Type of Project:

- New Construction - House or Other Large Building  
 New Construction - Shed, Garage, Retaining Wall, Shade Structure, Etc.  
 New or Altered Sign  
 Alteration, Addition, and/or Repairs to a Historic Building (built in 1942 or earlier)  
 Alteration, Addition, and/or Repairs to a Non-Historic Building (built in 1943 or later)  
 Moving an Existing Building  
 Demolishing an Existing Building

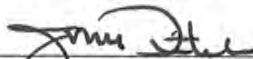
Building Owner or Designated Representative:

Name - JOHN & BETH DIETRICH

Mailing Address - P.O. BOX 469, VIRGINIA CITY, NV 89440

Email address - JMD10279@YAHOO.COM

Phone number - 775 444-2201

Signature - 

Date of Request: 4/22/24

- - PROPOSED SCOPE OF WORK ON NEXT PAGE - -

Please submit request form and supplementary materials to the Comstock Historic District Commission Office, 20 N. E Street / P.O. Box 128, Virginia City, NV 89440 or email the materials to Kristen Brown at [knbrown@shpo.nv.gov](mailto:knbrown@shpo.nv.gov).

## PROPOSED SCOPE OF WORK

### Supplementary Information:

Please indicate which of the following you have submitted-

- Written description of proposed work (dimensions, materials, products, methods, colors, locations, etc.) -*Required*
- Photographs of existing conditions
- Sketches, plans, or architectural drawings depicting the proposed work
- Site plan sketch or aerial photograph indicating project location
- Specs of materials to be used (manufacturer's cut sheets, website screenshots, etc.)
- Historic photographs depicting past condition or design
- Paint color samples
- Material samples
- Materially Affected Property Owner List (see CHDC website to download)
- Other

### Description of Proposed Work:

*(Use as many pages as needed)*

**ATTACHED**

## **Scope of Project**

The project will remove the existing garage which is not square to the residence and of sub-standard construction, replacing it with a three-car garage and a second story living area encompassing the existing footprint and setbacks. The new garage will extend to the south and be attached to the existing home and extend approximately eight additional feet deep into the property with a finished footprint of 27.6'x30' (see Site Plan). The addition will be finished using a 6:12 gabled roof pitch to lower the ridgeline (see drawings).

## **Finish**

The addition will be finished using 4x8 Cedar siding with 1x3 vertical battens giving it a board and batten finish to match the existing residence. An exterior oil finish to match the existing home will be used to preserve the exterior wood.

The triangular wall segments of Gable ends will be finished with a fishscale patterned shingle. The existing gable ends on the residence will also be done to match the new construction.

All exterior trim will be painted to match that of the existing residence (see photos).

## **Roofing Materials**

The roof will be finished using composition shingles (CHDC Construction Standards Pg. 34) to match existing home (see photos).

## **Windows**

Windows will be of a 1 over 1 style (CHDC Construction Standards Pg. 31) to match existing residence. The windows on the east facing side will be centered as shown on attached 6:12 – Centered drawing.

## **Garage Doors**

TBD





View from E Street



View from D Street











**From:** [Jon's](#)  
**To:** [Kristen Brown](#)  
**Subject:** COA Documents 450 S E Street  
**Date:** Monday, April 22, 2024 3:19:18 PM  
**Attachments:** [612Gable.pdf](#)

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WARNING - This email originated from outside the State of Nevada. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Good afternoon.

It was very nice to meet you. Please find attached some additional documents with elevations and an overhead of the back of the subject property and its odd shape. An option would be the 8:12 pitch to match the existing home and front dormer.

Thank you for your assistance,

Jon Dietrich



PRELIMINARY #1

CIVIL ENGINEER  
 JIM L. BATES, P.E.  
 451 JENNA CT.  
 CLIPSON CITY, MO 64031  
 553-4612

JOHN H. B. BETH  
 DILLIUGH  
 PO BOX 469  
 HOPKINS CITY, MO  
 550-508-0179  
 jmb10279@yahoo.com

CONTRACTOR  
 BATES CONSTRUCTION  
 156 S. PARKBOY DR.  
 CLIPSON CITY, MO 64031  
 MO. LICENSE #0088065

C1 SITE  
 A1 ELEVATIONS  
 A2 FLOOR PLAN  
 M1 MECH/ELEC/PLUMBING  
 S1 CROSS SECTIONS  
 S2 FOUNDATION  
 S3 ROOF  
 S4 DETAILS

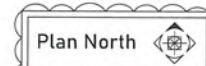
ADOPTED BUILDING CODES  
 & AMENDMENTS PER COUNTY ORDINANCE:  
 2018 IBC 2018 UMC 2018 IFC  
 2018 IRC 2017 NEC 2018 IFG  
 2018 UPC 2018 IECC 2018 IFGC

DESCRIPTION/SCOPE:  
 EDIT

TYPE VB CONSTRUCTION  
 OCCUPANCY:  
 R3-RESIDENTIAL  
 U-GARAGE

APN: 001-058-11  
 ACREAGE: 0.124 ACRE  
 ZONING: X-UNSHADED  
 SETBACKS:

FRONT: 20'  
 SIDE: 5'  
 REAR: 10'



WATER PIPES (UPC 609 II)  
 MIN. DEPTH BELOW FROST DEPTH  
 @ 18" FROST DEPTH = 30" MIN. BURIAL  
 @ 24" FROST DEPTH = 36" MIN. BURIAL

SITE DRAWING  
 STUMPS & ROOTS REMOVED 1' MIN  
 BACKFILL FREE OF ORGANIC MATERIAL, DEBRIS, AND  
 COBBLES. PLACED IN LIFTS & COMPACTED (DO NOT  
 DAMAGE FOUNDATION) IBC 1804.5  
 GRADED SITES: TOP OF EXTERIOR FOUND. MIN. 1" + 2%  
 SLOPE ABOVE STREET GUTTER DISCHARGE OR INLET  
 IBC 1808.7.4

CUT & FILL  
 MAX SLOPE: 1 VERT:2 HORIZ IBC APP J  
 COMPACTED FILL SUPPORTING FOUNDATIONS IBC 1804.6  
 12" MAX 90% MIN DRY DENSITY. SPECIAL INSPECTION  
 GREATER THAN 12". GEOTECHNICAL REPORT REQ'D

SLOPES IBC 1804.7  
 FOUNDATION SETBACKS FOR SLOPES > 1 VERT:3 HORIZ  
 ASCENDING SLOPES: H/2 OR 15' MAX  
 DESCENDING SLOPES: H/3 OR 40' MAX  
 SLOPES > 1:1 PROJECT 45' FROM TOE OR TOP

CALL 811 TO LOCATE UTILITIES BEFORE EXCAVATION.  
 CONTRACTOR OR OWNER IS SOLELY RESPONSIBLE TO  
 DETERMINE EXISTING LOCATION OF ALL UNDERGROUND  
 UTILITIES.  
 LOCATIONS SHOWN ARE APPROXIMATE AND EXACT  
 LOCATIONS ARE UNKNOWN AT THIS TIME.  
 PERTINENCE AS REQ'D TO VERIFY.

OWNER TO ACQUIRE SUBDIVISION ASSOCIATION APPROVAL  
 PRIOR TO PERMITTING, IF REQ'D. OWNER RESPONSIBLE TO  
 PROVIDE & VERIFY INFORMATION ABOUT EASEMENTS,  
 PROPERTY CORNER, TITLE REPORT & OTHERS AS REQ'D.

OWNER'S SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

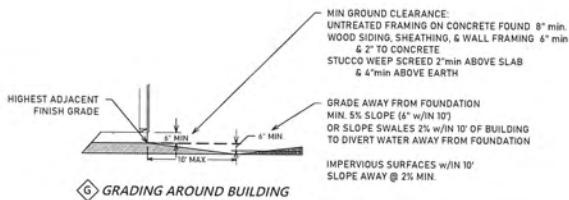
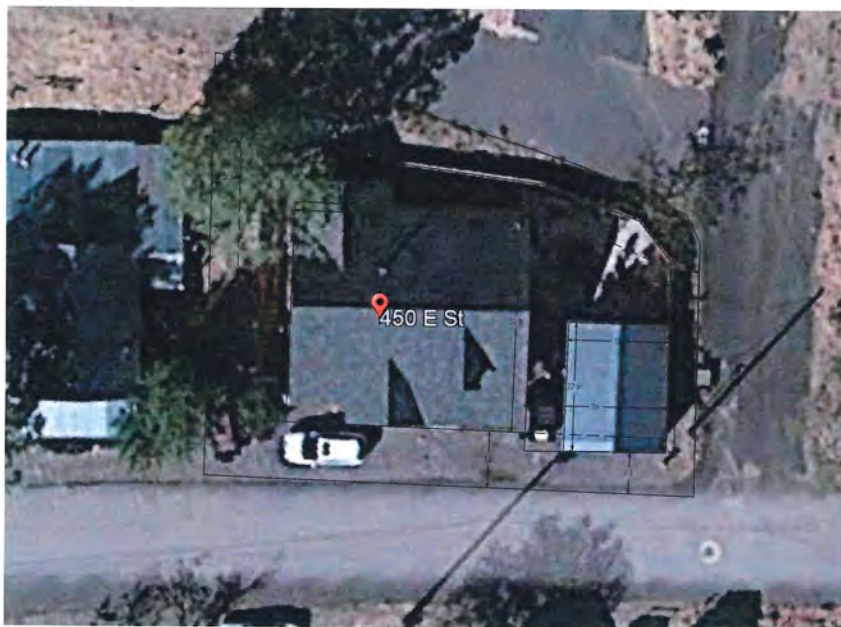
450 S. E STREET  
 VIRGINIA CITY, NV  
 APN: 001-058-11

REV	DATE	DESCRIPTION
0	7/27	Original Plans
1		
2		
3		

SCALE:  
 1" = 10'

SITE  
 PLAN

C1  
 SHEET 1 OF 8



PRELIMINARY #2

DATE: 08/11/2018  
 PROJECT: 450 S. E STREET  
 CLIENT: JMD10279@yahoo.com

OWNER: JMD10279@yahoo.com

CONTRACTOR: JMD10279@yahoo.com

**C1 SITE**  
**A1 ELEVATIONS**  
**A2 FLOOR PLAN**  
**M1 MECH/ELEC/PLUMBING**  
**S1 CROSS SECTIONS**  
**S2 FOUNDATION**  
**S3 ROOF**  
**S4 DETAILS**

2018 IBC 2018 UMC 2018 IRC 2018 IFCC  
 2018 IRC 2017 NEC 2018 IFGC  
 2018 UPC 2018 IECC 2018 TWIC

TYPE: V8 CONSTRUCTION  
 OCCUPANCY: R2 - RESIDENTIAL  
 U - GARAGE  
 APR: 001-058-11  
 ACREAGE: 0.124 ACRE  
 EDWING: X-UNSHADED  
 SETBACKS: FRONT: 7' (VARIANCE) SIDE: 9' REAR: 10'

Plan North

MIN. DEPTH BELOW FROST DEPTH  
 @ 18" FROST DEPTH = 30" MIN. BURIAL  
 @ 24" FROST DEPTH = 36" MIN. BURIAL

STUMPS & ROOTS REMOVED 1" MIN.  
 BACKFILL FREE OF ORGANIC MATERIAL, DEBRIS, AND COBBLES. PLACED IN LIFTS & COMPACTED (DO NOT DAMAGE FOUNDATION) IBC 1804.5  
 GRADED SITES: TOP OF EXTERIOR FOUND. MIN. 1" + 2% SLOPE ABOVE STREET GUTTER DISCHARGE OR INLET IBC 1808.7.4  
 CUT & FILL: MAX SLOPE: 1 VERT: 2 HORIZ IBC APP. J  
 COMPACTED FILL SUPPORTING FOUNDATIONS IBC 1804.6  
 12" MAX. 50% MIN. DRY DENSITY. SPECIAL INSPECTION GREATER THAN 12". GEOTECHNICAL REPORT REQ'D

FOUNDATIONS: IBC 1808.7.1  
 FOUNDATION SETBACKS FOR SLOPES > 1 VERT: 3 HORIZ: ASCENDING SLOPES: 1/2 OR 15' MAX. DESCENDING SLOPES: 1/3 OR 40' MAX. SLOPES > 1:1 PROJECT 45' FROM TOE OR TOP

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OWNER TO ACQUIRE SUBDIVISION ASSOCIATION APPROVAL PRIOR TO PERMITTING, IF REQ'D. OWNER RESPONSIBLE TO PROVIDE & VERIFY INFORMATION ABOUT EASEMENTS, PROPERTY CORNER, TITLE REPORT & OTHERS AS REQ'D.

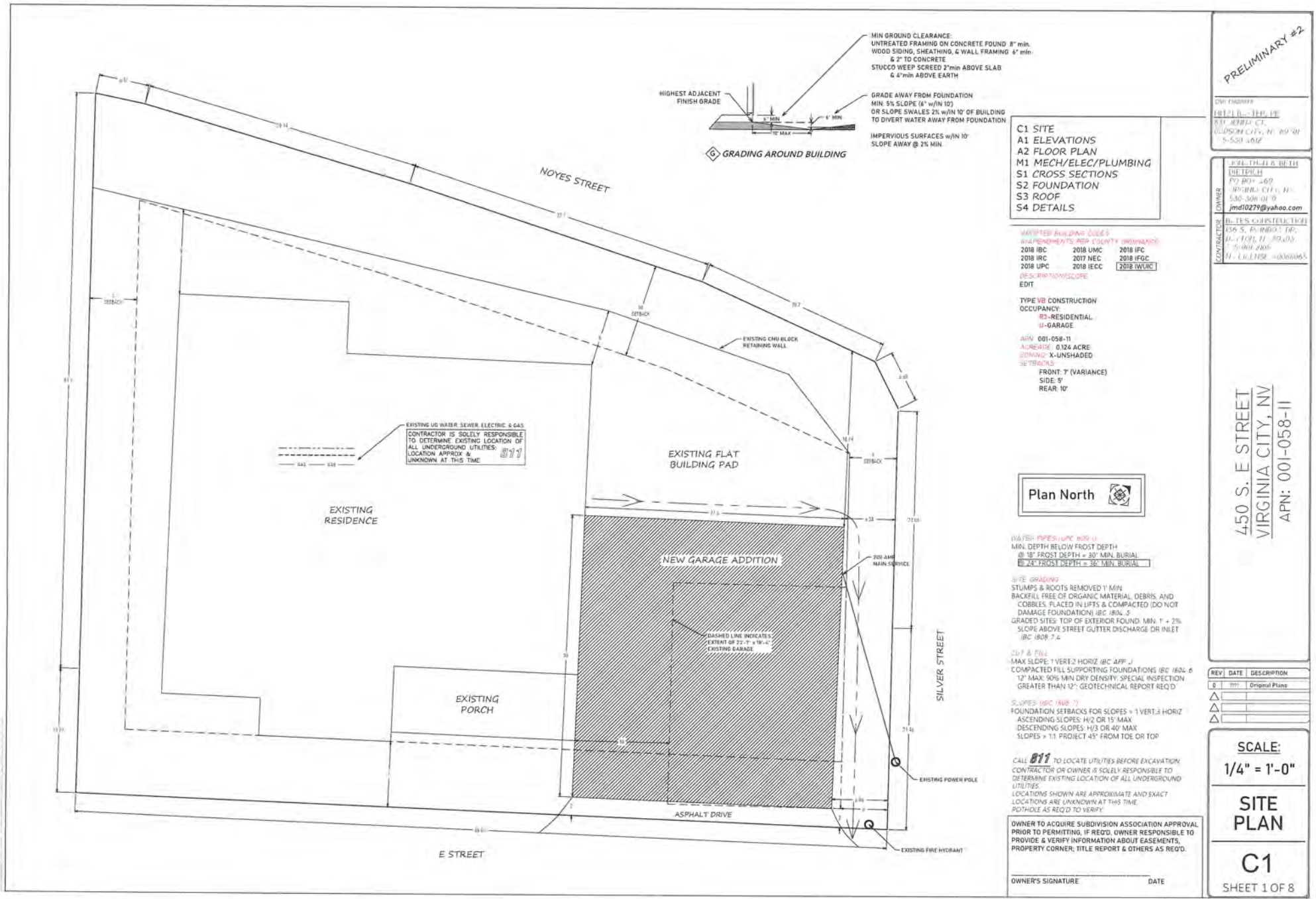
OWNER'S SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

REV	DATE	DESCRIPTION
0	08/11/2018	Original Plans
1		
2		
3		

SCALE: 1/4" = 1'-0"

SITE PLAN

C1 SHEET 1 OF 8



# 6:12 GABLE

