

COMSTOCK HISTORIC DISTRICT COMMISSION  
P.O. BOX 128  
VIRGINIA CITY, NEVADA 89440

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Pursuant to Nevada Revised Statutes Section 384.110, application is hereby made to the Comstock Historic District Commission for a Certificate of Appropriateness for work I propose to undertake as described below:

Property address/description 315 E. Washington  
Located in the community of Virginia City

Description of proposed work:

☐ New Structure \_\_\_\_\_

☒ Alteration of / Addition to Existing Structure Stucco over horizontal siding. Wood trim to be temporarily removed & reinstalled on top of stucco. New trim as needed where deteriorated. Color to be chosen w/ staff - likely beiges/browns.

☐ Move Existing Structure \_\_\_\_\_

(Reason) \_\_\_\_\_

☐ Demolish Existing Structure \_\_\_\_\_

(Reason) \_\_\_\_\_

By making this application I hereby agree to indemnify and save and hold harmless the State of Nevada and the Counties of Lyon and Storey and their agents and employees from any and all claims, causes of action or liability arising from the granting of this application. I further agree to strictly comply with any and all conditions of the Certificate of Appropriateness, if issued, and the regulations and laws of the Comstock Historic District Commission.

Owner or Designated Representative: JIM@CONCRETE-NORTH.NET  
Name JAMES GRIMES Date 4/27/23  
Mailing Address 95 OX YOKER LN RENO NV 89521  
Signature [Signature] Telephone 916-997-1991

CHDC Staff:  
Received By [Signature] Title History & Preservation officer Date \_\_\_\_\_

RECEIVED

APR 27 2023

COMSTOCK HISTORIC  
DISTRICT COMMISSION



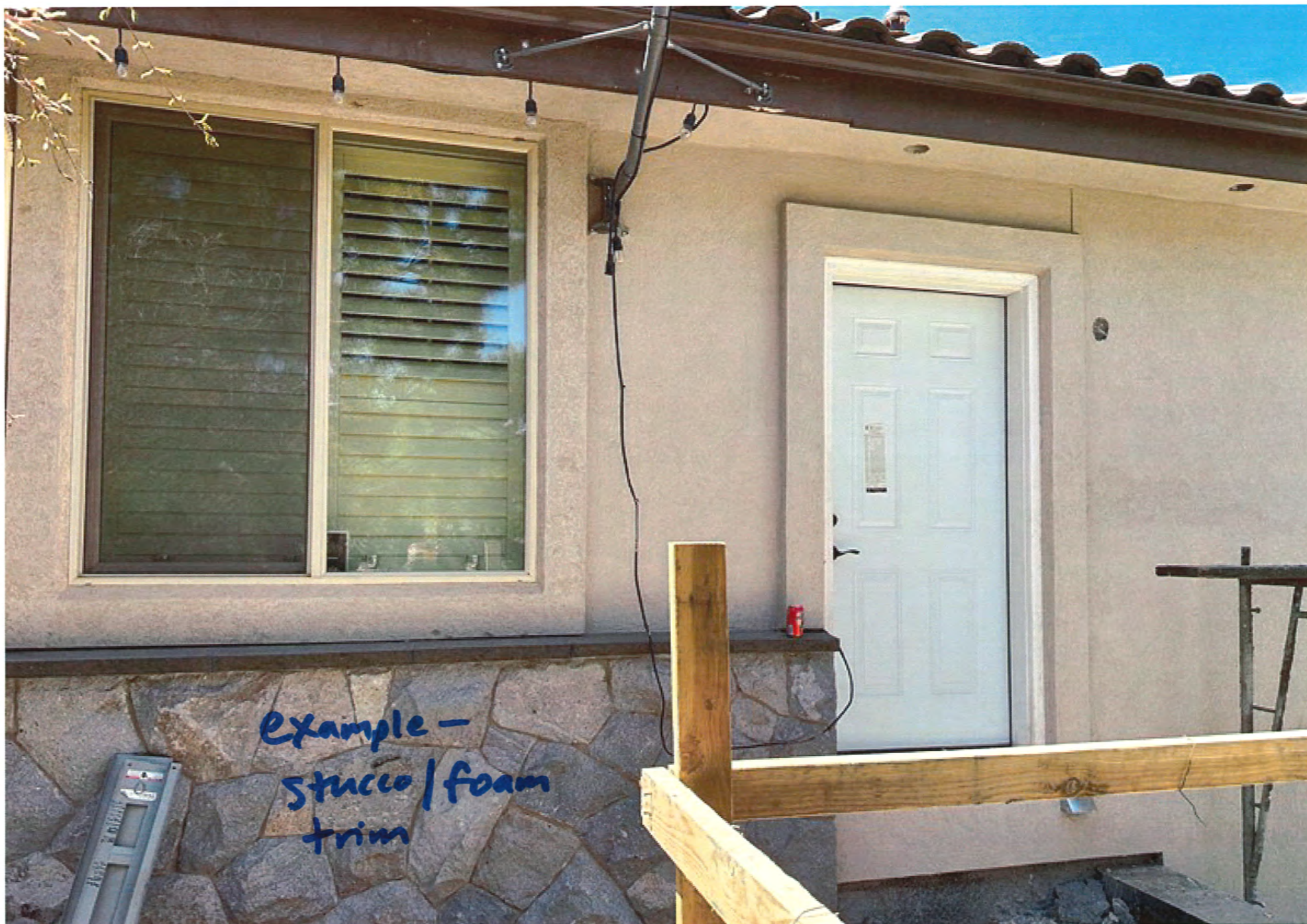
315 E. Washington (subject property)





Example –  
wood trim over stucco











**COMSTOCK HISTORIC DISTRICT COMMISSION**  
**P.O. BOX 128**  
**VIRGINIA CITY, NEVADA 89440**

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Pursuant to Nevada Revised Statutes Section 384.110, application is hereby made to the Comstock Historic District Commission for a Certificate of Appropriateness for work I propose to undertake as described below:

Property address/description 416 South B Street  
Located in the community of Virginia City

Description of proposed work:

☒ New Structure Work Shop / Garage

☐ Alteration of / Addition to Existing Structure \_\_\_\_\_

☐ Move Existing Structure \_\_\_\_\_

(Reason) \_\_\_\_\_

☐ Demolish Existing Structure \_\_\_\_\_

(Reason) \_\_\_\_\_

By making this application I hereby agree to indemnify and save and hold harmless the State of Nevada and the Counties of Lyon and Storey and their agents and employees from any and all claims, causes of action or liability arising from the granting of this application. I further agree to strictly comply with any and all conditions of the *Certificate of Appropriateness*, if issued, and the regulations and laws of the Comstock Historic District Commission.

Owner or Designated Representative:

Name Pat Findley / Collins Construction Date 3-30-23  
Mailing Address PO Box 1065 Virginia City NV  
Signature Jim Collins Telephone \_\_\_\_\_

CHDC Staff:

Received By \_\_\_\_\_ Title \_\_\_\_\_ Date \_\_\_\_\_



STATE OF NEVADA  
COMSTOCK HISTORIC DISTRICT COMMISSION  
P.O. BOX 128  
VIRGINIA CITY, NEVADA 89440

## CERTIFICATE OF APPROPRIATENESS

This Certificate verifies that pursuant to Nevada Revised Statutes Section 384.110,

Pat Findley, owner  
has made application to the Comstock Historic District Commission for a Certificate of  
Appropriateness for work to be conducted on the structure located at:

416 S. B St., Virginia City  
property address/description

This application has been reviewed by the Comstock Historic District Commission in accordance with Chapter 384 of the Nevada Revised Statutes. The proposed project as described in the application on file with the Commission's office, as amended at the public meeting before the Commission if applicable, has been deemed appropriate to the preservation of the Comstock Historic District. The work specified below or in detail in Exhibit A attached here to and made part thereof, may now be commenced. This certificate shall not be effective without said description or attachment. This certificate will be in force and effect until:

April 13, 2024 unless there is a violation thereof

The observation of work not in keeping with this certificate shall constitute due cause for the issuance of a Stop Work Order and legal action pursuant to NRS 384.190 to 384.200 inclusive

This certificate is not valid or effective until signed by the owner of the property in question or his representative and the Chair of the CHDC or his duly appointed representative.

April 13, 2023  
Date

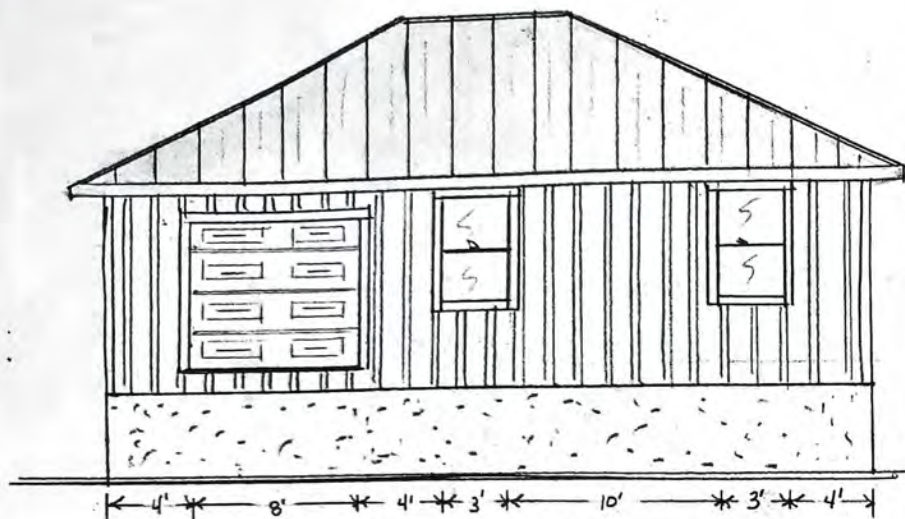
\_\_\_\_\_  
Owner

\_\_\_\_\_  
Chair, CHDC

~~New Workshop/Garage  
-KB~~

- ~~Conditions -~~
- ~~- must change to composition roof~~
  - ~~- less modern garage doors~~
  - ~~- colors + architectural details to be approved by staff.~~



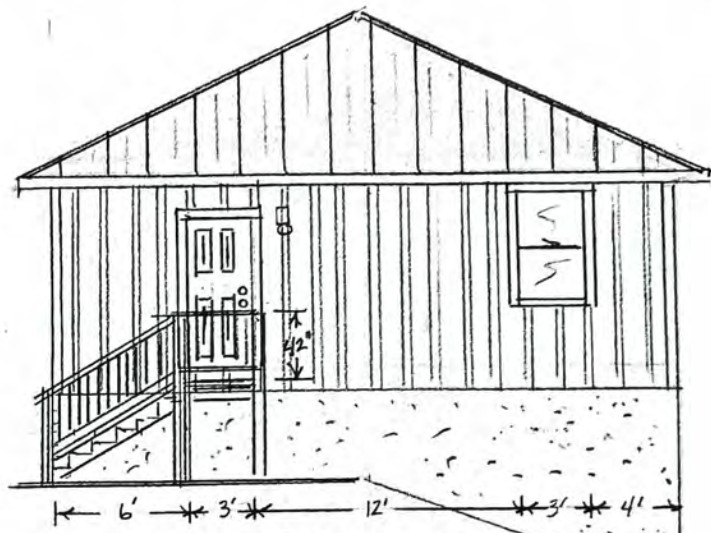
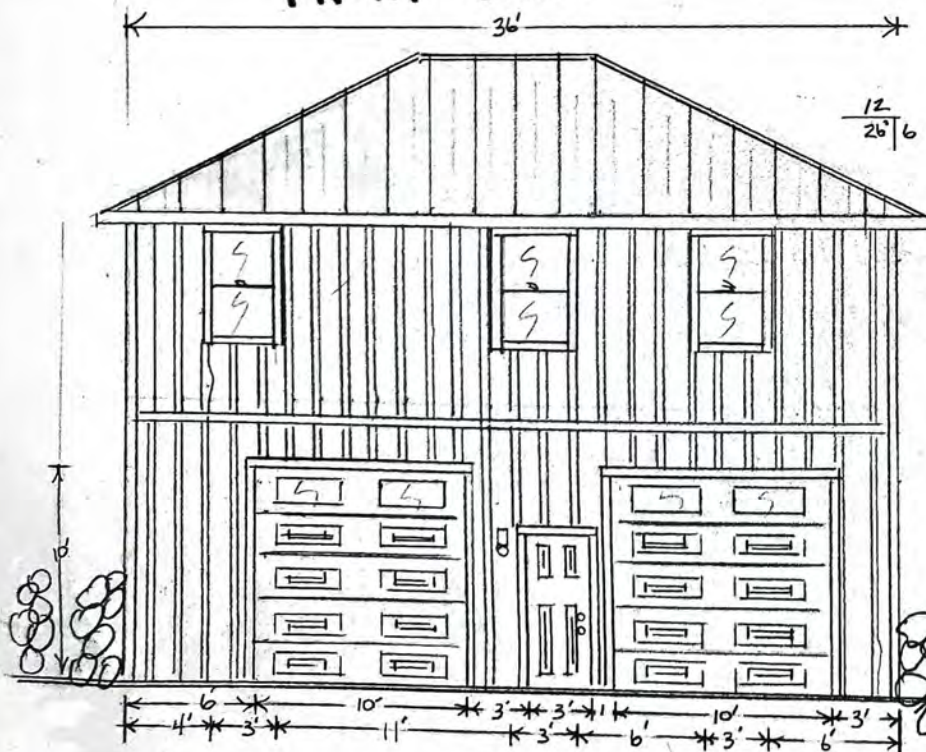


**BACK WEST**

**ELEVATIONS**

SCALE 1/4" = 1'

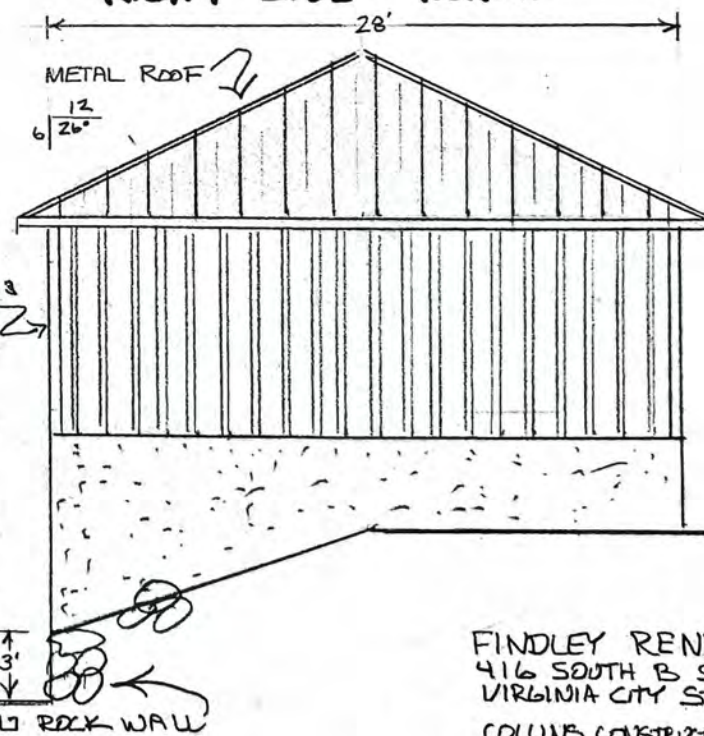
**FRONT EAST**



**LEFT SIDE SOUTH**

EXISTING ROCK WALL

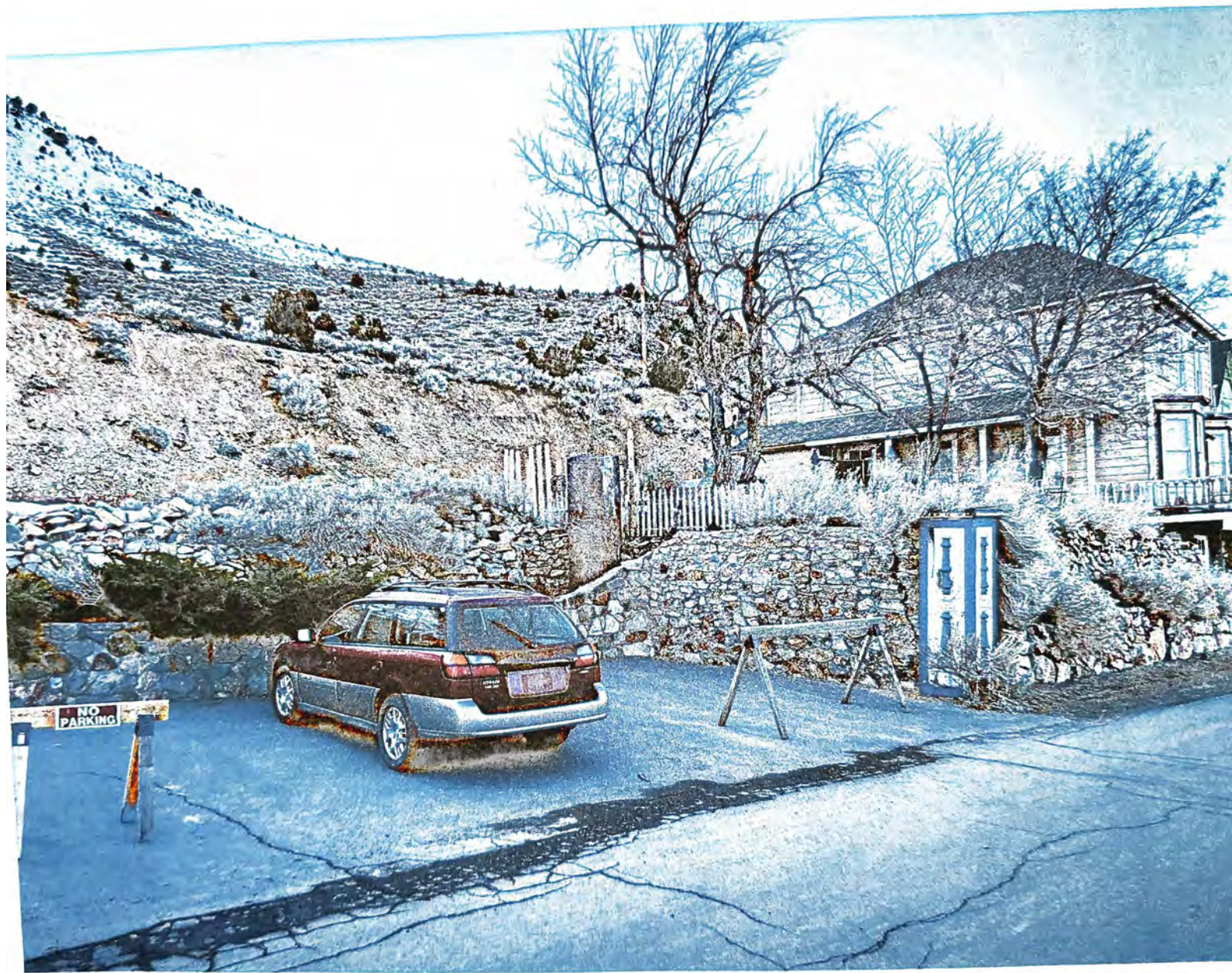
**RIGHT SIDE NORTH**



FINDLEY RENTALS LLC  
416 SOUTH B STREET  
VIRGINIA CITY STOREY COUNTY

COLLINS CONSTRUCTION INC NSL 52058  
PO BOX 1065 KLV NV 89440 (775) 720-8010







**COMSTOCK HISTORIC DISTRICT COMMISSION**  
**P.O. BOX 128**  
**VIRGINIA CITY, NEVADA 89440**

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Pursuant to Nevada Revised Statutes Section 384.110, application is hereby made to the Comstock Historic District Commission for a Certificate of Appropriateness for work I propose to undertake as described below:

Property address/description St. Paul the Prospector Church, 87 F Street  
Located in the community of Virginia City NV 89440

Description of proposed work:

☐ New Structure \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

☒ Alteration of / Addition to Existing Structure See attached description,  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

☐ Move Existing Structure \_\_\_\_\_  
\_\_\_\_\_  
(Reason) \_\_\_\_\_

☐ Demolish Existing Structure \_\_\_\_\_  
\_\_\_\_\_  
(Reason) \_\_\_\_\_

By making this application I hereby agree to indemnify and save and hold harmless the State of Nevada and the Counties of Lyon and Storey and their agents and employees from any and all claims, causes of action or liability arising from the granting of this application. I further agree to strictly comply with any and all conditions of the *Certificate of Appropriateness*, if issued, and the regulations and laws of the Comstock Historic District Commission.

Owner or Designated Representative:

Name Teresa (Tia) Mittelstadt Date 5-1-2023  
Mailing Address 7405 Little Easy Court Sparks NV 89436  
Signature Teresa Mittelstadt Telephone 775-722-3329

CHDC Staff:




















Received By \_\_\_\_\_ Title \_\_\_\_\_ Date \_\_\_\_\_



## St Paul's Exterior Rehabilitation

The exterior rehabilitation for St Pauls will include the following items: A structural stabilization of the West and East sides of the building to include subgrade retaining walls and helical piles with a bond grade beam. The non-historic accessible ramp on the South and East elevations will be removed and rebuilt. Throughout the West, South, East, and North elevations the paint is to be removed and repainted. As much of the original siding and quoins is to be retained where reasonably possible. Where the severity of deterioration requires replacement, the new components will match the old in design and material. Window trims, sills and mullions will also be rehabilitated, where possible. A south facing modern chimney and chimney penetration through the roof will be removed as well as a direct vent will be removed and the hole patched with wood. The roof will be removed and replaced with an appropriate roof assembly.

[illegible]

	SYMBOLS REFER TO PLANS, SECTIONS, AND DETAILS	SECTION SECTION IDENTIFICATION SHEET DESIGNATION
		DETAIL DETAIL IDENTIFICATION SHEET DESIGNATION
		INTERIOR ELEVATIONS IDENTIFICATION SHEET DESIGNATION
		EXTERIOR ELEVATIONS ELEVATION IDENTIFICATION SHEET DESIGNATION
		ELEVATION DATUM
		SPOT ELEVATION
		ROOM IDENTIFICATION
		REVISION
		TREE TO REMAIN
		TREE TO BE REMOVED
		ANGLE
		CENTERLINE
		DIAMETER
		FINITY
		PERPENDICULAR
		PROPERTY LINE
		SQUARE FEET
		FOUND
		DOOR IDENTIFICATION TAG
		FLOOR / ROOF ASSEMBLY TAG
		WINDOW IDENTIFICATION TAG
		WALL ASSEMBLY TAG
		STRUCTURAL COLUMN
		CHANGE OF PLANE ABOVE ARCHITECTURAL SHEETS ONLY
		DOOR NUMBER
		AREA IN SQUARE FEET
		OCCUPANCY GROUP
		OCCUPANCY GROUP LOAD
		OCCUPANTS
		OCCUPANT LOAD FACTOR
		EXIT CAPACITY

	EARTH (SECTION)
	CONCRETE (SECTION)
	CONCRETE MASONRY UNIT (PLAN / SECTION)
	STRUCTURAL WOOD (ELEVATION)
	STRUCTURAL WOOD (CONT. - NOT SIZE INDICATED)
	ASPHALT CONCRETE PAVING (SECTION)
	GYPSUM WALL BOARD
	FINISHED WOOD (SECTION)
	PLYWOOD
	METAL STEEL OR IRON
	INSULATION: BATT
	RIGID INSULATION BOARD ON F.E.
	COMPACTED AGGREGATE
	BRICK / STONE

## A black and white photograph of the Episcopal Church in Virginia City. The church is a Gothic Revival style building with white siding and dark wood trim. It features a prominent square tower with a tall, pointed steeple. The tower has arched windows and decorative woodwork. The main body of the church has a steep gable roof and several arched windows. A set of stairs leads up to the entrance. The text "EPISCOPAL CHURCH VIRGINIA CITY" is printed at the bottom of the image.

1. DETAILS WILL TYPICALLY CALL OUT GENERIC SPECIFICATIONS FOR MATERIALS (EXAMPLE: "P. TWO" CALL-OUTS). PLEASE REFER TO THE APPROPRIATE ARCHITECTURAL / STRUCTURAL PLAN OR SCHEDULE FOR DETAILED SPECIFICATIONS OR CALL-OUTS.
2. CORNSTOCK HISTORIC DISTRICT COMMISSION & STATE HISTORIC PRESERVATION OFFICE APPROVAL REQUIRED ON ALL NEW REHABILITATION ITEMS OF HISTORIC SIGNATURE (E.G. BUILDING WINDOW DESIGN/PROFILES, ALL PORTALS TYPES, & SELECTED PAINT COLORS ETC.)
3. ALL WORK SHALL COMPLY TO THE U.S. SECRETARY OF THE INTERIOR'S STANDARDS FOR THE REHABILITATION UNLESS OTHERWISE APPROVED BY THE STATE HISTORICAL PRESERVATION OFFICE.

NOTE: ALL FIXTURES LISTED BELOW ARE EXISTING

[illegible]

**OWNER**  
EPISCOPAL DIOCESE OF NEVADA  
100 EASTERN AVENUE, STE. 236  
LAS VEGAS, NEVADA 89003  
TELEPHONE: 1.602.157.5993

**ARCHITECT**  
OFFICE EPISCOPAL ARCHITECTS  
ARCHITECT  
716 CENTRAL DE LA GARZA, ALTA  
10000 BOULEVARD AVENUE  
RENO, NEVADA 89502  
TELEPHONE: 775.333.9999

**CONTACT PERSONS**  
CONTACT PERSONS: DE LA GARZA, ALTA  
STRUCTURAL ENGINEER  
AND ARCHITECTURAL DESIGN  
AND PLANNING DE SUITE A  
RENO, NEVADA 89502  
TELEPHONE: 775.333-0568  
TELEPHONE: 775.333-0564  
CONTACT BRADNEY MONT  
RENO, NEVADA 89502  
NEVADA LICENSED CIVIL ENGINEER #6425

**GENERAL CONTRACTOR**  
THE GREEN, STRUCTURAL ENGINEER  
AND ARCHITECTURAL DESIGN  
AND PLANNING DE SUITE A  
RENO, NEVADA 89502  
TELEPHONE: 775.333-0568  
CELL PHONE: 775.333-0564  
FAX: 775.333-0564

**GENERAL CONTRACTOR**  
JULIE FLORES-MONTAGNA/ALTA  
NEVADA LICENSED STRUCTURAL ENGINEER #03580  
RENO, NEVADA 89502  
TELEPHONE: 775.333-0568  
FAX: 775.333-0564

**GENERAL CONTRACTOR**  
ALTA GENERAL CORP., 6070 D  
RENO NEVADA 89503  
TELEPHONE: 775.333-5050  
FAX: 775.333-6026

**GENERAL CONTRACTOR**  
CONTACT: JOHN GARNER  
GENERAL CONTRACTOR/ALTA  
10000 BOULEVARD AVENUE  
SUITE 1000, KAMAHAI/ALTA  
RENO, NEVADA 89502  
TELEPHONE: 775.333-0568  
FAX: 775.333-0564

**GENERAL CONTRACTOR**  
CONTACT: JAMES B. BROWN  
1515 18TH STREET  
SPRING VALLEY, NEVADA 89413  
TELEPHONE: 775.225-2333 (N.V.) - 243C  
CONTACT:

**BUILDING AREA**  
BASEMENT CONDITIONED AREA  
1ST FLOOR CONDITIONED AREA  
TOTAL FLOOR AREA

**TOTAL NET CONDITIONED AREA**

**Mercedes de la Garza AIA**  
architect studio

1226 California Ave  
Reno Nevada 89509

www.dela garza studio.com  
Reno Tahoe

T: (775) 243 9999  
San Francisco

St Paul's Episcopal Church  
87 S. F Street  
Virginia City, Nevada  
Storey County  
001-148-01



©2023 Mercedes de la Garza A.L.A.

The use of these plans and specifications is restricted to the original site for which they were prepared. No use, reproduction or publication by any method in whole or part is published without the written consent in writing by Francisco de la Cruz A. S. Ownership of the design,

Drawn By  
**Cal Creative Studios**

Drawing Date: **01/27/23**

Drawing Version: **Phase** **CD 5**

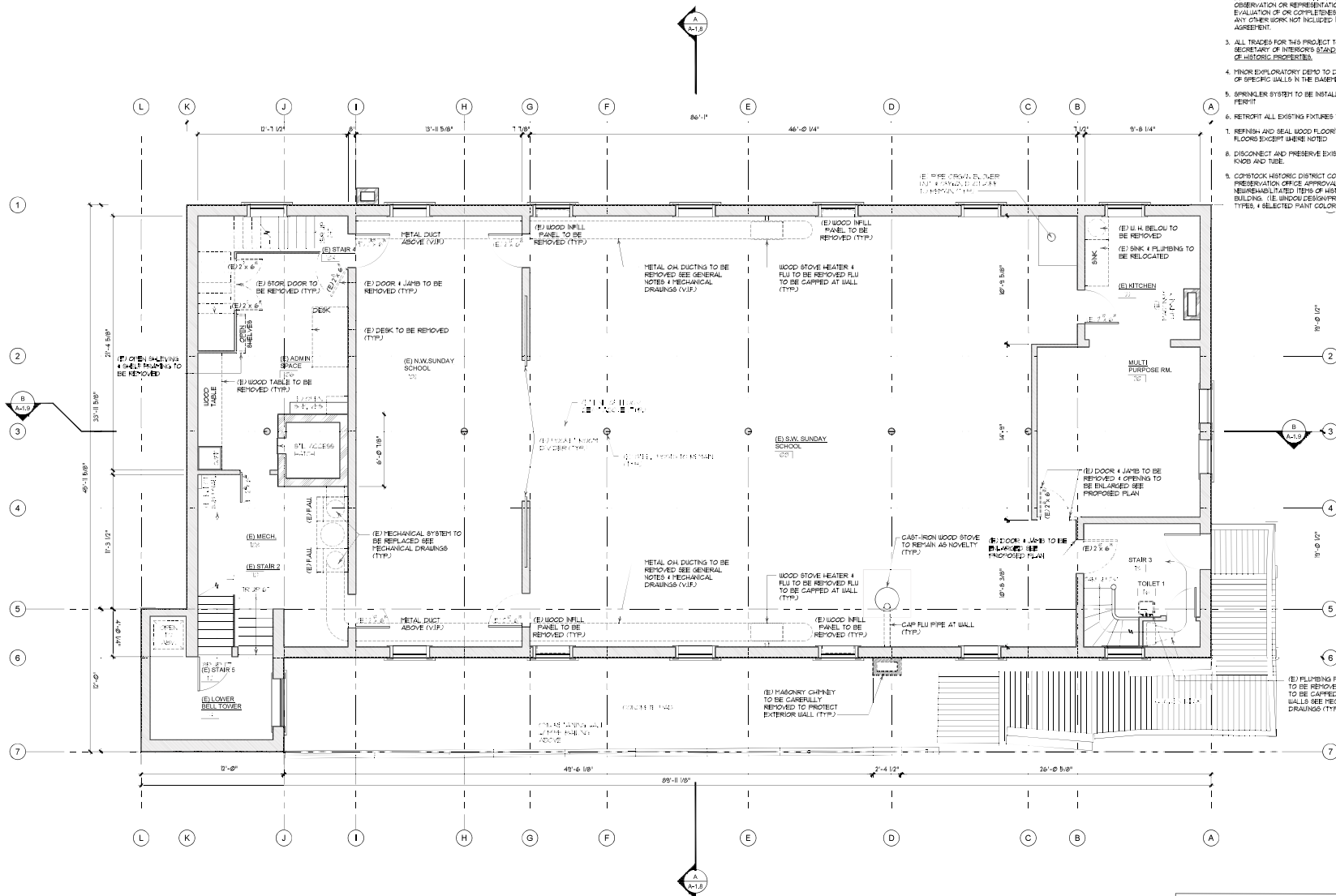
[illegible]Cover  
Sheet

A-O



## GENERAL NOTES:

- EXISTING FLOOR PLAN INFORMATION WAS TAKEN FROM RECORD DRAWINGS PREPARED BY MERCEDES DE LA GARZA ARCHITECT 87010, 226 CALIFORNIA AVE. KENO, NEVADA 89505.
- ARCHITECT STAFF'S REVIEW AND APPROVAL OF RECORD DRAWINGS FOR 81 & F STREET DOES NOT IMPLY ANY FIELD OBSERVATION OR REPRESENTATION AS TO THE ADEQUACY, EVALUATION OR COMPLETENESS OF CONCEALED WORKS, OR ANY OTHER WORK NOT INCLUDED IN THE OWNER/ARCHITECT AGREEMENT.
- ALL TRADES FOR THIS PROJECT TO COMPLY WITH THE SECRETARY OF INTERIORS STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.
- PIVOT EXPLORATORY DEMO TO DETERMINE CONSTRUCTION OF SPRINKLER SYSTEM IN THE BASEMENT LEVEL WILL BE REQUIRED PERMIT.
- RETRORFIT ALL EXISTING FIXTURES TO LED, WHERE POSSIBLE.
- REFINISH AND SEAL WOOD FLOORING THROUGHOUT, ALL FLOORS EXCEPT WHERE NOTED.
- DISCONNECT AND PRESERVE EXISTING SURFACE MOUNTED KNOBS AND TUBE.
- CORROCK HISTORIC DISTRICT COMMISSION & STATE HISTORIC PRESERVATION OFFICE APPROVAL REQUIRED ON ALL NEURERABILITATED ITEMS OF HISTORIC FEATURES WITHIN THE BUILDING. (IE WINDOW DESIGN/PROFILES, ALL PORTALS TYPES, & SELECTED PAINT COLORS ETC.).



PROJECT NOTE:  
ALL WORK SHALL CONFORM TO THE U.S. SECRETARY OF THE INTERIORS STANDARDS FOR THE REHABILITATION UNLESS OTHERWISE APPROVED BY THE STATE HISTORICAL PRESERVATION OFFICE.

Basement Existing/Demo Plan

SCALE 1/4" = 1'-0"



Mercedes de la Garza, AIA  
architect studio

St. Paul's  
Rehabilitation  
&  
Restoration

St Paul's Episcopal Church  
87 S. F Street  
Virginia City, Nevada  
Storey County  
001-45-01



Outing Nevada's Cultural Affairs  
The State of Nevada is a proud member of the National Historic Preservation Act of 1966, as amended. The Act authorizes the Secretary of the Interior to establish a National Historic Preservation System, which includes the National Register of Historic Places, the National Historic Landmarks Program, and the National Historic Preservation Act of 1966, as amended.

Drawn By: Cad Creative Studio

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

Design/Drawn: Phil: CFS

Scale: 1/4" = 1'-0"

Date: 10/1/2020

Sheet: 1 of 1

Project: St. Paul's Episcopal Church

Location: 87 S. F Street, Virginia City, NV

Client: St. Paul's Episcopal Church

Architect: Mercedes de la Garza, AIA

Project No: 100-01-02

</



1. EXISTING FOUND PLAN INFORMATION WAS TAKEN FROM RECORD DRAWINGS PREPARED BY PERICLES DE LA GARZA ARCHITECTS INC. 320 CALIFORNIA AVE. REDDING NINEWA 95905
2. ARCHITECTS STATE REVIEW AND APPROVAL OF RECORD DRAWINGS FOR SITE & ELEVATION DOES NOT IMPLY ANY FIELD VERIFICATION OF REPRESENTATION AS TO ADEQUATE EVALUATION OF OR COMPLETENESS OF CONCEALED WORK, OR OTHER CONDITIONS NOT INCLUDED IN THE CONTRACTED AGREEMENT.
3. ALL TRACES FOR THE PROJECT TO COMPLY WITH THE DESIGN OF THE INTERIOR REFINISHING FOR THE TREATMENT OF HISTORIC PROPERTIES.
4. MINOR EXPLORATORY DIRT TO DETERMINE CONSTRUCTION OF SPECIFIC WALLS TO THE BASEMENT LEVEL WILL BE REQUIRED
5. SPRINKLER SYSTEM IS TO BE INSTALLED UNDER SEPARATE PERMIT
6. RETROFIT ALL EXISTING FOOTINGS TO LED, WHERE POSSIBLE
7. REPAIRS AND LEAD WOOD FINISH THROUGHOUT, ALL FLOORS EXCEPT LINING FLOOR
8. DISCONNECT AND REMOVE EXISTING STAINA FOAMED KINGS AND TUBS
9. CONFORM HISTORIC DISTRICT COMMISSION & STATE HISTORIC PRESERVATION OFFICE
10. UNREMARKED TILES OF HISTORIC FEATURES WITHIN THE BUILDING (IE WINDOW DECORATIONS, ALL PORCEAINS AND TERRAZZO FLOORS)





# GENERAL NOTES:

1. EXISTING FLOOR PLAN INFORMATION WAS TAKEN FROM RECORD DRAWINGS PREPARED BY MERCEDES DE LA GARZA ARCHITECT STUDIO, 226 CALIFORNIA AVE. RENO, NEVADA 89505.
2. ARCHITECT STAFF'S REVIEW AND APPROVAL OF RECORD DRAWINGS FOR 81 & F STREET DOES NOT IMPLY ANY FIELD OBSERVATION OR REPRESENTATION AS TO THE ADEQUACY, EVALUATION OR COMPLETENESS OF CONCEALED WORKS OR ANY OTHER WORK NOT INCLUDED IN THE OWNER/ARCHITECT AGREEMENT.
3. ALL TRADES FOR THIS PROJECT TO COMPLY WITH THE SECRETARY OF INTERIORS STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.
4. PRIOR EXPLORATORY DEMO TO DETERMINE CONSTRUCTION OF SPRING WALLS IN THE GARMENT LEVELS WILL BE REQUIRED PERMIT.
5. SPRINKLER SYSTEM TO BE INSTALLED UNDER SEPARATE PERMIT.
6. RETROFIT ALL EXISTING FIXTURES TO LED, WHERE POSSIBLE.
7. REFINISH AND SEAL WOOD FLOORING THROUGHOUT, ALL FLOORS EXCEPT WHERE NOTED.
8. DISCONNECT AND PRESERVE EXISTING SURFACE MOUNTED KNOB AND TUBE.
9. COMSTOCK HISTORIC DISTRICT COMMISSION & STATE HISTORIC PRESERVATION OFFICE APPROVAL REQUIRED ON ALL NONREHABILITATED ITEMS OF HISTORIC FEATURES WITHIN THE BUILDING, (I.E. WINDOW DESIGN/PROFILES, ALL PORTALS TYPES, & SELECTED PAINT COLORS ETC.).

## SHEET NOTES



## St. Paul's Rehabilitation & Restoration

St. Paul's Episcopal Church  
81 S. F. Street  
Virginia City, Nevada  
Store County  
001-148-01



Quay Norris de la Garza, AIA

The use of these plans and specifications is restricted to the project for which they were prepared. No other reproduction or publication is permitted without the written consent of the architect. The architect assumes no responsibility for the construction of the project after the completion of the design phase and for any construction errors or omissions.

Drawn By: Cal Castro/Studio

Drawing Date: 04/21/22

Drawing Format: Plot: CFS

Revised:

By: Date: Scale:

By: Date: Scale:

By: Date: Scale:

By: Date: Scale:

By: Date: Scale:

By: Date: Scale:

By: Date: Scale:

By: Date: Scale:

By: Date: Scale:

By: Date: Scale:

By: Date: Scale:

By: Date: Scale:

By: Date: Scale:

By: Date: Scale:

By: Date: Scale:

By: Date: Scale:

By: Date: Scale:

By: Date: Scale:

By: Date: Scale:

By: Date: Scale:

By: Date: Scale:

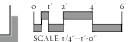
By: Date: Scale:

By: Date: Scale:

By: Date: Scale:

PROJECT NOTE:  
ALL WORK SHALL CONFORM TO THE U.S. SECRETARY OF THE INTERIORS STANDARDS FOR THE REHABILITATION UNLESS OTHERWISE APPROVED BY THE STATE HISTORIC PRESERVATION OFFICE.

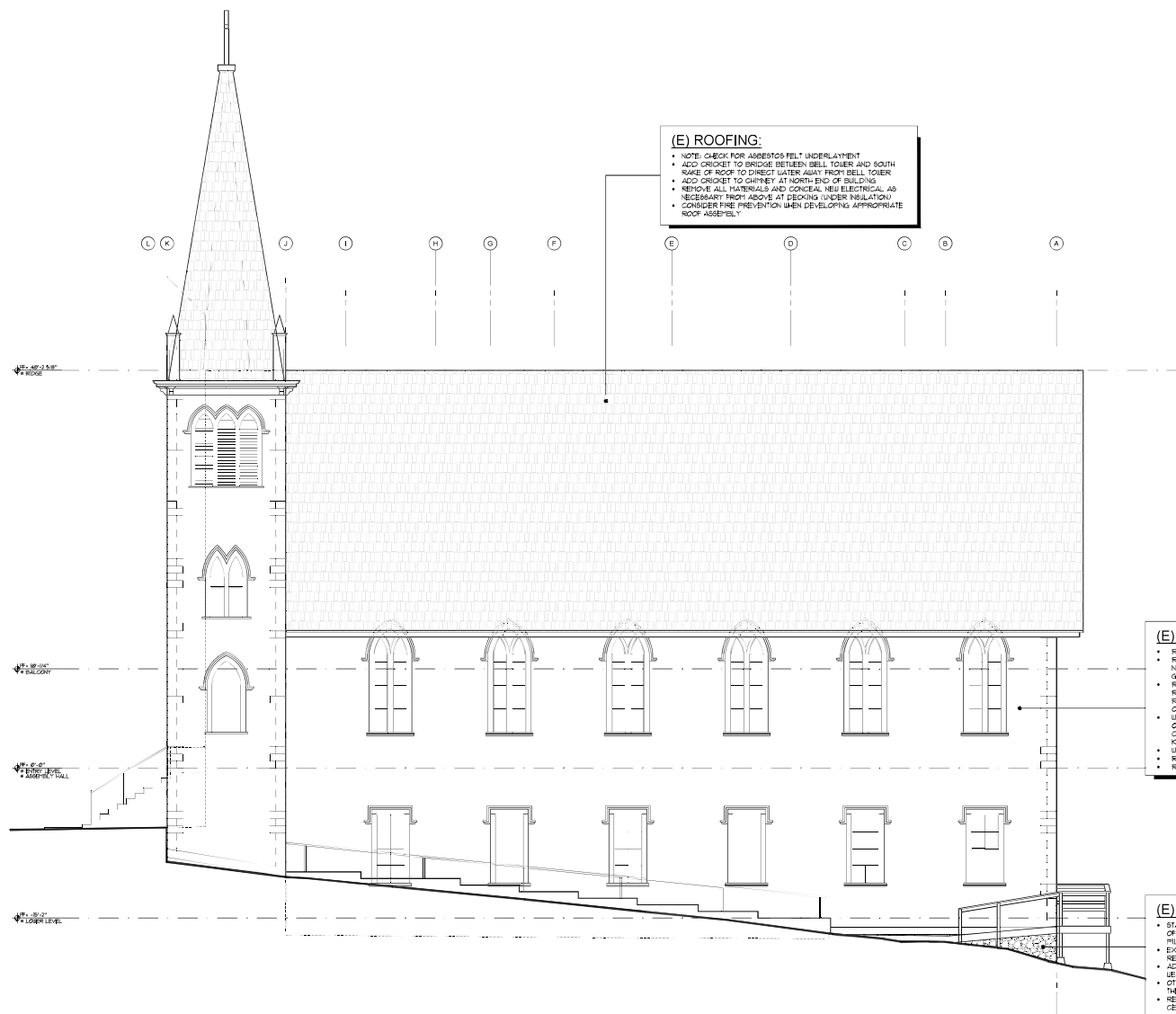
## Second Floor Existing Plan



## 2nd Floor Existing Plan

A-1.4





# GENERAL NOTES:

- EXISTING FLOOR PLAN INFORMATION WAS TAKEN FROM RECORD DRAWINGS PREPARED BY MERCEDES DE LA GARZA ARCHITECT 910/D 226 CALIFORNIA AVE. RENO, NEVADA 89505.
- ARCHITECT STAFF'S REVIEW AND APPROVAL OF RECORD DRAWINGS FOR 87 S. F STREET DOES NOT IMPLY ANY FIELD OBSERVATION OR REPRESENTATION AS TO THE ADEQUACY, EVALUATION OF OR COMPLETENESS OF CONCEALED WORK, OR ANY OTHER WORK NOT INCLUDED IN THE OWNER/ARCHITECT AGREEMENT.
- ALL TRADES FOR THIS PROJECT TO COMPLY WITH THE SECRETARY OF INTERIORS STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.
- CONTRACT HISTORIC DISTRICT COMMISSION & STATE HISTORIC PRESERVATION OFFICE APPROVAL REQUIRED ON ALL NEW/REHABILITATED ITEMS OF HISTORIC FEATURES WITHIN THE BUILDING. (IE WINDOW DESIGN/PROFILES, ALL PORTALS TYPES, & SELECTED PAINT COLORS ETC.)
- PAINTED SURFACES: ALL EXTERIOR ELEVATIONS ARE IDENTIFIED AS CLASS II EXTERIOR SURFACE CONDITION. PLEASE REFER TO PRESERVATION ORDER # IN THE APPENDIX PRIOR TO REMOVING PAINT. METHOD OF PAINT REMOVAL TO BE MINIMAL ABRASIVE METHOD OF SCRAPING AND HAND SANDING. WHERE NEEDED, ABRASIVE METHOD MECHANICAL CAN BE CAREFULLY EMPLOYED. CONSULT OSHA REQUIREMENT SET FORTH IN 29 CFR 1926.62 PRIOR TO REMOVING EXTERIOR PAINT.

## (E) ROOFING:

- NOTE: CHECK FOR ASBESTOS FELT UNDERLAYMENT
- ADD CRICKET TO BRIDGE BETWEEN BELL TOWER AND SOUTH RAKE OF ROOF TO DIRECT WATER AWAY FROM BELL TOWER
- ADD CRICKET TO CHIMNEY AT NORTH END OF BUILDING
- REMOVE ALL MATERIALS AND CONCEAL NEW ELECTRICAL AS NECESSARY FROM ABOVE AT DECKING UNDER INSULATION
- CONSIDER FIRE PREVENTION WHEN DEVELOPING APPROPRIATE ROOF ASSEMBLY

## (E) SOUTH ELEVATION:

- REMOVE CHIMNEY AND CHIMNEY PENETRATION THROUGH THE ROOF
- REMOVE PAINT FROM ALL PAINTED SURFACES AND PREPARE FOR NEW PERMANENT HISTORICALLY APPROPRIATE COLORS (SEE GENERAL NOTE #)
- RETAIN AS MUCH OF THE ORIGINAL SIDING AND COLORS AS REASONABLY POSSIBLE. WHERE THE SEVERITY OF DETERIORATION REQUIRES REPLACEMENT, THE NEW COMPONENTS WILL MATCH THE OLD IN DESIGN AND MATERIAL, IN KIND
- WINDOW TRIMS, SILLS AND WINDOW MULLIONS, WHERE THE SEVERITY OF DETERIORATION REQUIRES REPLACEMENT, THE NEW COMPONENTS WILL MATCH THE OLD IN DESIGN AND MATERIAL, IN KIND
- WHERE WINDOWS ARE MISSING, MATCH NEW WINDOW WITH IN KIND
- REMOVE DIRECT VENT AND PATCH HOLE WITH WOOD AT EXTERIOR
- REMOVED & RESULT ACCESSIBLE RAMP

## (E) STRUCTURAL STABILIZATION:

- STABILIZE THE STONE FOUNDATION ON THE EAST AND WEST SIDES OF THE BUILDING BY UNDERPINNING THE EXISTING WITH HELICAL PILES AND BENCH GRADE BERM
- EXISTING EXPOSED STONE WILL REMAIN EXTERIOR WILL BE REPOINTED AFTER FOUNDATION WORK IS COMPLETED
- ADDITIONAL RETAINING WALLS WILL BE CONSTRUCTED AT THE WEST WALL, AS NEEDED
- OTHER RETAIL WALLS MAY BE BUILT TO STABILIZE THE EARTH ON THE STEEP DOWNHILL SIDE
- REPOINT MORTAR JOINTS WITH LIKE HISTORIC MORTAR (NOT CEMENTITIOUS MORTAR) (SEE SPECS FOR MORTAR TYPES)

### PROJECT NOTE:

ALL WORK SHALL CONFORM TO THE U.S. SECRETARY OF THE INTERIORS STANDARDS FOR THE REHABILITATION UNLESS OTHERWISE APPROVED BY THE STATE HISTORICAL PRESERVATION OFFICE

South Elevation



# SHEET NOTES

Mercedes de la Garza, AIA  
architect studio  
T. 775.331.0000  
www.mercedesdelagarza.com  
1000 N. Virginia St., Suite 100  
Reno, NV 89505

## St. Paul's Rehabilitation & Restoration

St. Paul's Episcopal Church  
87 S. F Street  
Virginia City, Nevada  
Storey County  
001-148-01



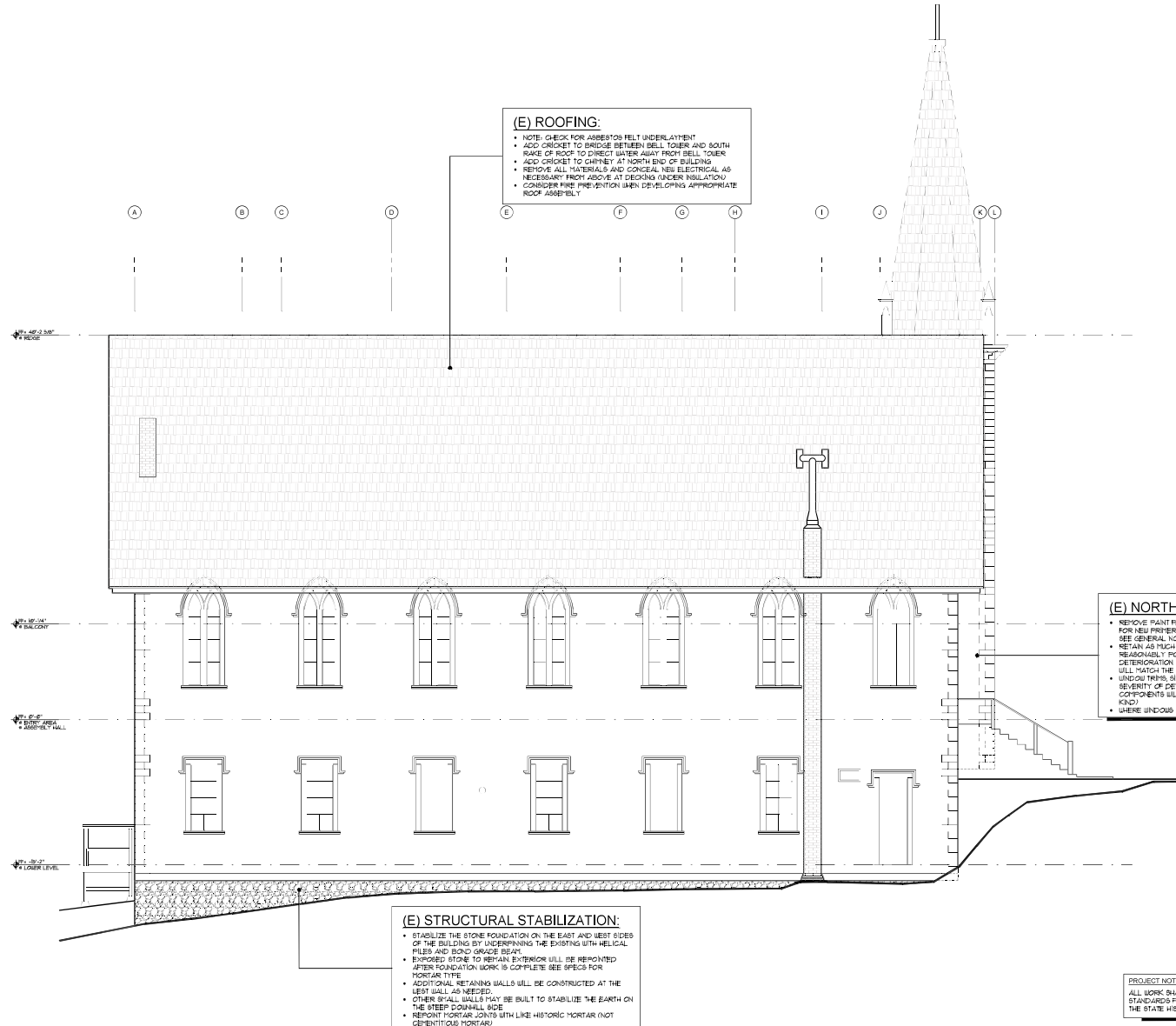
©2011 Mercedes de la Garza AIA  
The use of this plan and all other documents is restricted to the project for which it was prepared. No other use, reproduction, or modification is permitted without the written consent of Mercedes de la Garza AIA. All rights reserved.

Drawn By:	Garth Crutcher Studio	Checked By:	
Design Date:	08.07.12		
Design Version:	Phase	CDP'S	
Revised:			
By:	Rev:	Revised:	

Existing  
Building  
Elevation  
S.O.W.  
A-I.5

GENERAL NOTES:

- EXISTING FLOOR PLAN INFORMATION WAS TAKEN FROM RECORD DRAWINGS PREPARED BY MERCEDES DE LA GARZA ARCHITECT 910/D, 726 CALIFORNIA AVE. RENO, NEVADA 89505.
- ARCHITECT STAFF'S REVIEW AND APPROVAL OF RECORD DRAWINGS FOR 87 S. F STREET DOES NOT IMPLY ANY FIELD OBSERVATION OR REPRESENTATION AS TO THE ADEQUACY, EVALUATION OF OR COMPLETENESS OF CONCEALED WORK, OR ANY OTHER WORK NOT INCLUDED IN THE OWNER/ARCHITECT AGREEMENT.
- ALL TRADES FOR THIS PROJECT TO COMPLY WITH THE SECRETARY OF INTERIORS STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.
- CORROSION HISTORIC DISTRICT COMMISSION & STATE HISTORIC PRESERVATION OFFICE APPROVAL REQUIRED ON ALL NEW/REHABILITATED TRIPS OF HISTORIC FEATURES WITHIN THE BUILDING. (IE WINDOW DESIGN/PROFILES, ALL PORTAR TYPES, & SELECTED PAINT COLORS ETC.)
- PAINTED SURFACES: ALL EXTERIOR ELEVATIONS ARE IDENTIFIED AS CLASS II EXTERIOR SURFACE CONDITION. PLEASE REFER TO PRESERVATION ORDER NO. 1 IN THE APPENDIX PRIOR TO REMOVING PAINT. METHOD OF PAINT REMOVAL TO BE MANUAL ABRASIVE METHOD OF SCRAPING AND HAND SANDING, WHERE NEEDED, ABRASIVE METHOD MECHANICAL CAN BE CAREFULLY ENGAGED. CONSULT OSHA REQUIREMENT SET FORTH IN 29 CFR 1926.662 PRIOR TO REMOVING EXTERIOR PAINT.



Mercedes de la Garza, AIA  
architect studio

St. Paul's  
Rehabilitation  
&  
Restoration

St. Paul's Episcopal Church  
87 S. F Street  
Virginia City, Nevada  
Storey County  
001-148-01



©2011 Mercedes de la Garza AIA  
The use of this plan and any other drawings is restricted to the project for which it was prepared. No reproduction or alteration of this plan or any other drawings is permitted without the written consent of Mercedes de la Garza AIA. All rights reserved.

Owner: St. Paul's Episcopal Church  
Architect: Mercedes de la Garza AIA  
Drawing Date: 08.27.22  
Drawing Title: Plan  
Scale: 1/8" = 1'-0"

Revisions	By	Date	Revised

Existing  
Building  
Elevation  
S.O.W.

A-1.6

North Elevation

PROJECT NOTE:  
ALL WORK SHALL CONFORM TO THE U.S. SECRETARY OF THE INTERIORS'S STANDARDS FOR THE REHABILITATION UNLESS OTHERWISE APPROVED BY THE STATE HISTORICAL PRESERVATION OFFICE.



# GENERAL NOTES:

- EXISTING FLOOR PLAN INFORMATION WAS TAKEN FROM RECORD DRAWINGS PREPARED BY MERCEDES DE LA GARZA ARCHITECT STUDIO, 226 CALIFORNIA AVE. RENO, NEVADA 89502
- ARCHITECT/STAFF'S REVIEW AND APPROVAL OF RECORD DRAWINGS FOR R.T. & STREET DOES NOT IMPLY ANY FIELD OBSERVATION OR REPRESENTATION AS TO THE ADEQUACY, EVALUATION OF OR COMPLETENESS OF CONCEALED WORK OR ANY OTHER WORK NOT INCLUDED IN THE OWNER/ARCHITECT AGREEMENT.
- ALL TRADERS FOR THIS PROJECT TO COMPLY WITH THE TREATMENT OF HISTORIC PROPERTIES.
- CORROCK HISTORIC DISTRICT COMMISSION & STATE HISTORIC PRESERVATION OFFICE APPROVAL REQUIRED ON ALL REHABILITATED ITEMS OF HISTORIC FEATURES WITHIN THE BUILDING. (I.E. WINDOW DESIGN PROFILES, ALL PORTALS TYPES, & SELECTED PAINT COLORS ETC.)
- PAINTED SURFACES: ALL EXTERIOR ELEVATIONS ARE IDENTIFIED AS CLASS III EXTERIOR SURFACE CONDITION. PLEASE REFER TO PRESERVATION BRIEF #10 IN THE APPENDIX PRIOR TO REMOVING PAINT. METHOD OF PAINT REMOVAL TO BE MANUAL ABRASIVE METHOD OF SCRAPING AND HAND SANDING, WHERE NEEDED. ABRASIVE METHOD MECHANICAL CAN BE CAREFULLY ENGAGED. CONSULT OSHA REQUIREMENT SET FORTH IN 29 CFR 1926.552 PRIOR TO REMOVING EXTERIOR PAINT.

## SHEET NOTES



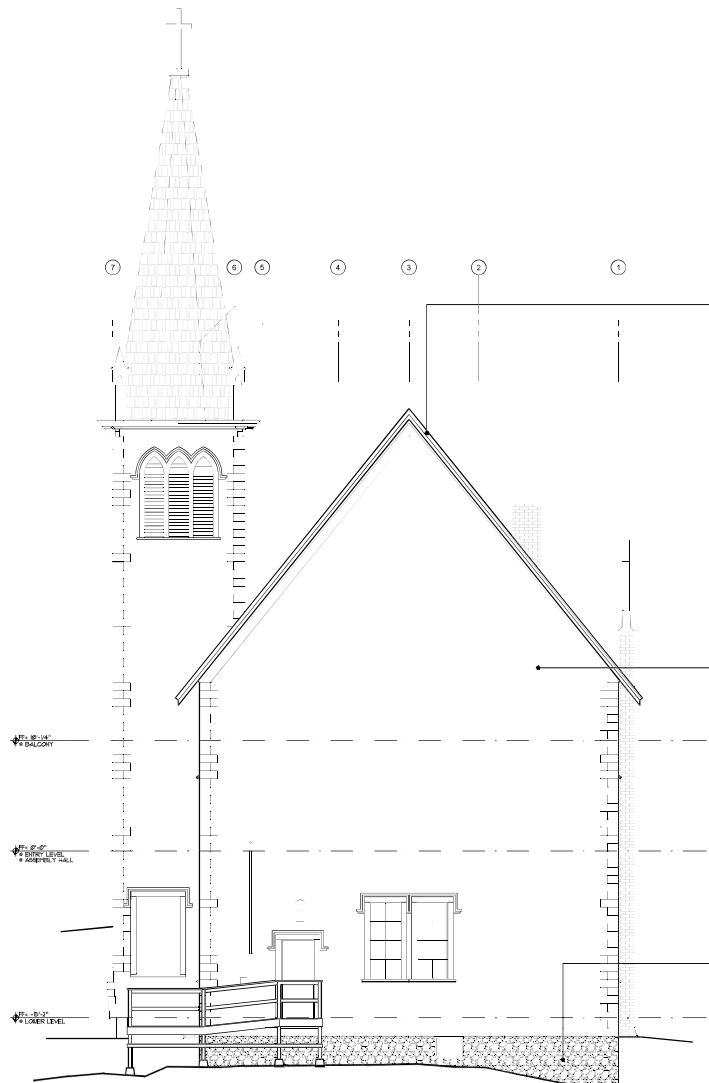
St. Paul's  
Rehabilitation  
&  
Restoration  
St Paul's Episcopal Church  
815 S. F Street  
Virginia City, Nevada  
Storey County  
0001-148-01



Quincy Mercedes de la Garza AIA  
The use of these plans and specifications is restricted to the project for which they were prepared. No part of these plans and specifications may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying and recording, or by any information storage or retrieval system, without permission in writing from the architect.

Project:	Call Center Studio	Client:	
Design Date:	04/01/18	Design Update:	02/05
Revisions:			
No.	Date	By	Revised

Existing  
Building  
Elevations  
S.O.W.  
A-I.7



East Elevation



**(E) ROOFING:**

- NOTE: CHECK FOR ABRASIVES FELT UNDERLAYMENT
- ADD CRICKET TO BRIDGE BETWEEN BELL TOWER AND SOUTH RAKE OF ROOF TO DIRECT WATER AWAY FROM BELL TOWER
- ADD CRICKET TO GABLET AT NORTH END OF BUILDING
- REMOVE ALL MATERIALS AND CONCEAL NEW ELECTRICAL AS NECESSARY FROM ABOVE AT DECKING (UNDER INSULATION)
- CONSIDER FIRE PREVENTION WHEN DEVELOPING APPROPRIATE ROOF ASSEMBLY.

**(E) WEST ELEVATION:**

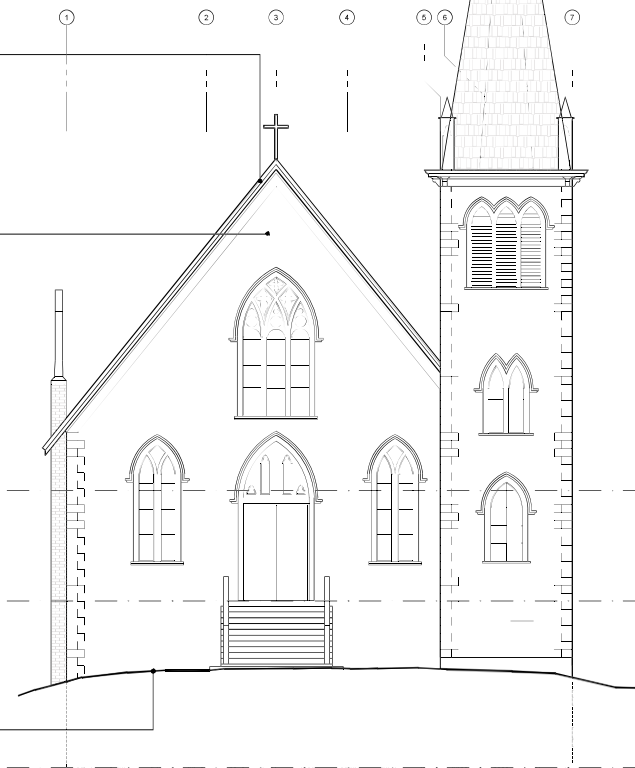
- REMOVE PAINT FROM ALL PAINTED SURFACES AND PREPARE FOR NEW PRESERVANT (HISTORICALLY APPROPRIATE COLORS) SEE GENERAL NOTE #6
- RETAIN AS MUCH OF THE ORIGINAL SIDING AND GUTTERS AS REASONABLY POSSIBLE WHERE THE SEVERITY OF DETEIORATION REQUIRES REPLACEMENT, THE NEW COMPONENTS WILL MATCH THE OLD IN DESIGN AND MATERIAL (IN KIND)
- WINDOW TRIMS, SILLS AND WINDOW MULLIONS WHERE THE SEVERITY OF DETEIORATION REQUIRES REPLACEMENT, THE NEW COMPONENTS WILL MATCH THE OLD IN DESIGN AND MATERIAL (IN KIND)
- WHERE WINDOWS ARE MISSING, MATCH NEW WINDOW WITH IN KIND
- IF REASONABLY POSSIBLE, RECREATE HISTORIC VERTICAL PORTS FLANKING ENTRY STAIRS
- REBUILD, EXCAVATE, STABILIZE AREAS FLANKING ENTRY STAIRS AT SOUTHWEST AND NORTHEAST CORNERS
- COVER AREA THAT FLANKS STAIRS WITH WATERPROOFING AND DIRECT DRAINAGE AWAY FROM BUILDING. COVER THIS WITH A WEATHER RESISTANT "WALKING" MATERIAL

**(E) EAST ELEVATION:**

- REMOVE PAINT FROM ALL PAINTED SURFACES AND PREPARE FOR NEW PRESERVANT (HISTORICALLY APPROPRIATE COLORS) SEE GENERAL NOTE #6
- RETAIN AS MUCH OF THE ORIGINAL SIDING AND GUTTERS AS REASONABLY POSSIBLE WHERE THE SEVERITY OF DETEIORATION REQUIRES REPLACEMENT, THE NEW COMPONENTS WILL MATCH THE OLD IN DESIGN AND MATERIAL (IN KIND)
- WINDOW TRIMS, SILLS AND WINDOW MULLIONS WHERE THE SEVERITY OF DETEIORATION REQUIRES REPLACEMENT, THE NEW COMPONENTS WILL MATCH THE OLD IN DESIGN AND MATERIAL (IN KIND)
- WHERE WINDOWS ARE MISSING, MATCH NEW WINDOW WITH IN KIND

**(E) STRUCTURAL STABILIZATION:**

- STABILIZE THE STONE FOUNDATION ON THE EAST AND WEST SIDES OF THE BUILDING BY UNDERPINNING THE EXISTING WITH HELICAL PILES AND BOND GRADE BEAM
- EXTERIOR STONE WILL REMAIN. EXTERIOR TO BE REPOINTED AFTER FOUNDATION WORK IS COMPLETE. SEE SPECS FOR MORTAR TYPE
- ADDITIONAL RETAINING WALLS WILL BE CONSTRUCTED AT THE WEST WALL, AS NEEDED
- OTHER RETAINING WALLS MAY BE BUILT TO STABILIZE THE EARTH ON THE STEEP DOWNHILL SIDE
- REPAIR MORTAR JOINTS WITH LIKE HISTORIC MORTAR (NOT CEMENTIOUS MORTAR)



West Elevation



**PROJECT NOTE:**  
ALL WORK SHALL CONFORM TO THE U.S. SECRETARY OF THE INTERIOR'S STANDARDS FOR THE REHABILITATION UNLESS OTHERWISE APPROVED BY THE STATE HISTORIC PRESERVATION OFFICE

## GENERAL NOTES:

- EXISTING FLOOR PLAN INFORMATION WAS TAKEN FROM RECORD DRAWINGS PREPARED BY MERCEDES DE LA GARZA ARCHITECT 9110/D, 726 CALIFORNIA AVE. RENO, NEVADA 89505
- ARCHITECT'S REVIEW AND APPROVAL OF RECORD DRAWINGS FOR 81 S.F. STREET DOES NOT IMPLY ANY FIELD OBSERVATION OR REPRESENTATION AS TO THE ADEQUACY, EVALUATION OF OR COMPLETENESS OF CONCEALED WORK, OR ANY OTHER WORK NOT INCLUDED IN THE OWNER/ARCHITECT AGREEMENT.
- ALL TRADES FOR THIS PROJECT TO COMPLY WITH THE SECRETARY OF INTERIORS STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.
- MINOR EXPLORATORY DEMO TO DETERMINE CONSTRUCTION OF SPICING WALLS IN THE BASEMENT LEVELS WILL BE REQUIRED.
- SPRINKLER SYSTEM TO BE INSTALLED UNDER SEPARATE PERMIT.
- RETRICHT ALL EXISTING FIXTURES TO LED, WHERE POSSIBLE.
- REFINISH AND SEAL WOOD FLOORING THROUGHOUT ALL FLOORS EXCEPT WHERE NOTED.
- DISCONNECT AND PRESERVE EXISTING SURFACE MOUNTED KNOBS AND TUBE.
- CORROCK HISTORIC DISTRICT COMMISSION & STATE HISTORIC PRESERVATION OFFICE APPROVAL REQUIRED ON ALL NEW/REHABILITATED ITEMS OF HISTORIC FEATURES WITHIN THE BUILDING. (IE. WINDOW DESIGN/PROFILES, ALL PORTALS TYPES, & SELECTED PAINT COLORS ETC.).

Mercedes de la Garza, AIA  
architect studio

1000 California Ave.  
Reno, NV 89505  
775.333.3333  
www.mercedesdelagarza.com

## St. Paul's Rehabilitation & Restoration

St Paul's Episcopal Church  
87 S. F Street  
Virginia City, Nevada  
Storey County  
001-438-01



©2011 Mercedes de la Garza AIA  
The use of this plan and all drawings is restricted to the project for which it was prepared. No reproduction or publication is permitted without the written consent of Mercedes de la Garza AIA. All rights reserved. Merced de la Garza AIA is a registered professional architect in the State of Nevada. License No. 4770.

Owner: St. Paul's Episcopal Church  
Architect: Mercedes de la Garza AIA  
Drawing Date: 08.22.22  
Drawing Title: Plan  
CDS

Revisions	By	Date

Basement  
Scope of  
Work

A-21

## (E) KITCHEN AREA

- REPLACE SINK AND FAUCET
- ADD GARBAGE DISPOSAL AND DISHWASHER
- NEW COUNTER WITH UNDER COUNTER CABINETRY
- RELOCATE SUTER HEATER
- REMOVE AND REPLACE REFRIGERATOR
- ADD OVERHEAD CABINET STORAGE
- PROVIDE UNDER CABINET LIGHTING, SWITCHED SEPARATELY ON DIMMER SWITCH
- REMOVE AND REPLACE VINYL FLOORING WITH LINOLEUM TILES
- PATCH HOLES FOR VENTING

## (E) MULTI-PURPOSE ROOM:

- REMOVE STOVE
- ADD FRUIT COUNTERS COMPLETELY UNDER (E) SILL APRON
- ADD DOUBLE OVENS
- ADD VERTICAL STORAGE CABINET
- REMOVE AND REPLACE VINYL FLOORING WITH LINOLEUM TILES
- PAINT AN ADA COMPLIANT THRESHOLD BETWEEN EXISTING FLOORING AND LINOLEUM FLOORING
- PATCH HOLE FOR VENTING
- PATCH IN UPPER WALL PANELING AT ADDITION AND PAINT ALL WALLS
- SWITCH OVERHEAD LIGHT SEPARATELY ON DIMMER SWITCH, CONCEAL ELECTRICAL IF SURFACE MOUNTED
- REMOVE EXISTING DOOR AND REPLACE WITH NO 3-6 DOOR WITH LEVER ADA HARDWARE
- ADD NO ADA BATHROOM ACCESSORIES (GRAB BARS, TOILET, MIRROR, SINK)
- NEW 3-6" DOORS AND LEVER ADA HARDWARE
- SWITCH OVERHEAD LIGHT SEPARATELY ON DIMMER SWITCH, CONCEAL ELECTRICAL IF SURFACE MOUNTED
- BRING LIGHT FIXTURE DOWN IN HEIGHT
- ADD OVER TOP SCONCE TO (N) ADA MIRROR
- ADD BATHROOM ACCESSORIES (PAPER HAND TOWEL, TRASH, TOUCHLESS SOAP)
- ADD ADA BATHROOM ACCESSORIES (GRAB BARS, TOILET, MIRROR, SINK)
- PAINT ALL WALLS
- PAINT SET WALLS WITH EPOXY PAINT IN LBL OF FRP
- REMOVE AND REPLACE VINYL FLOORING WITH LINOLEUM TILES

## (E) TOILET 1 (CONVERT TO STORAGE CLOSET):

- REMOVE TOILET
- REMOVE ELECTRICAL RECEPTACLE
- INSTALL LINED OVERHEAD LED LIGHT FIXTURE
- PATCH WALLS AND FLOOR AND DOOR TRIM
- ADD BULKING FOR STORAGE
- ADD LOCKING DOOR HARDWARE

## (E) STAIR 3: (TO ENTRY LEVEL)

- REMOVE SINK AND PUMPING, PATCH TO MATCH EXISTING WHERE NECESSARY
- REMOVE PAPER TOWEL DISPENSER AND MIRROR, PATCH TO MATCH EXISTING WHERE NECESSARY
- SWITCH OVERHEAD LIGHT SEPARATELY ON DIMMER SWITCH, CONCEAL ELECTRICAL IF SURFACE MOUNTED
- SPRINT STAIN AND REFINISH RAILING AND PICKETS, MATCH EXISTING COLOR
- REPAINT AND SEAL STAIR TREADS, RISERS AND STRINGER TRIM, MATCH EXISTING COLOR
- INSTALL CODE COMPLIANT EXIT SIGN OVER EXTERIOR DOOR
- REMOVE GAS FIXTURE REMAINT FROM WALL
- PLACE SURFACE MOUNT BULK-OFF AT DOOR ENTRY TO EXTEND TO EDGE OF STAIR

## (E) S.W. SUNDAY SCHOOL &amp; N.W. SECTION OF SUNDAY SCHOOL

- S.W. SUNDAY SCHOOL AND NW SECTION OF SUNDAY SCHOOL
- NEW ELECTRICAL TO EXISTING ORGAN PUMP BOX
- REMOVE WOOD STOVE HEATERS (2) AND DUCTING ON BOTH NORTH AND SOUTH OF ROOM. PATCH DUCTING HOLES
- DISCONNECT AND PRESERVE CAST IRON WOOD STOVE AND SEAL AT WALL
- REMOVE AND REBUILD SOUTH FACING WINDOWS
- REMOVE AND REBUILD NORTH FACING WINDOWS
- REMOVE WALL WOOD PANELING FROM WAINSCOT TO FINISH FLOOR ON SOUTH AND NORTH WALLS, LABEL FOR REPLACEMENT
- INSTALL RIGID INSULATION ON LOWER PART OF THE WALL
- UPDATE ELECTRICAL RECEPTACLES
- BLow INSULATION UP TO FIRE BLOCKING INTO UPPER WALL
- REASSEMBLE WALL WOOD PANELING FROM WAINSCOT TO FINISH FLOOR ON SOUTH AND NORTH WALLS AS PER LABELS
- REMOVE CEILING DECKING BETWEEN OUTER WALL AND CENTRAL CEILING BEAM AND LABEL FOR REPLACEMENT
- INSTALL RIGID INSULATION ON CEILING
- BLow INSULATION DOWN TO FIRE BLOCKING ON SOUTH AND NORTH UPPER WALLS
- UPDATE ELECTRICAL FOR 8 CEILING FIXTURES (WITHIN CEILING CAVITY) PUT FIXTURES ON 3 WAY SWITCHES
- ADD PATCHING LIGHTS, ELECTRICAL WITHIN CEILING CAVITY TO NW SECTION AND LIGHTING SEPARATE FROM SUNDAY SCHOOL AREA ON 3 WAY SWITCHES
- SWITCH & CEILING FAN SEPARATE FROM 84 CEILING FIXTURES
- DISCONNECT AND PRESERVE EXISTING SURFACE MOUNTED KNOBS AND TUBE
- REMOVE ALL SURFACE MOUNTED MODERN ELECTRICAL IN ALL AREAS OF SUNDAY SCHOOL AREA
- PAINT STRUCTURAL PORTS, COLOR, BLACK PAINT
- REMOVE CURTAINS
- REMOVE ALL INTERIOR WOOD MILL PANELS AT EXTERIOR WINDOWS
- REMOVE CARPETING
- REPAIR PICKET DOORS SO THAT THEY ARE OPERABLE AGAIN
- CONCEAL HVAC DUCTING AT PERIPHER WITH SIMILAR CEILING DECKING
- LIGHTLY REFINISH, REPAINT, RESEAL ALL WALLS INCLUDING ADDITION ON EAST SIDE OF SUNDAY SCHOOL AREA

## (E) STAIR 4: (TO ENTRY LEVEL)

- INSTALL CONTINUOUS COMPLIANT HANDRAIL
- SEE OPTIONAL STAIR 4 CONFIGURATION ON MAIN FLOOR PLAN (SEE SHEET A-8)

## (E) ADMINISTRATIVE AREA

- RECONFIGURE SPACE FOR COMPLIANT LANDING AREA
- RELOCATE LIGHTING FOR NEW LAYOUT
- INSTALL LIGHTING IN NO STORAGE
- REMOVE CARPET, INSTALL LINOLEUM FLOORING, METAL THRESHOLDS BOTH SIDES
- AT BRICK, CAREFULLY TRIM OUT GIRD AND PRESERVE BRICK
- AT STEEL, ACCESS HATCH COVER WITH PLEXIGLASS TO PRESERVE (SEE DETAIL N/A-8)

## (E) LOWER BELL TOWER STAIRS:

- SEAL ALL OPENINGS TO EXTERIOR FOLLOWING STRUCTURAL STABILIZATION
- INSTALL LOCKING HARDWARE AT STAIR'S DOOR
- INSTALL HANDRAIL AT STAIR 5

## (E) MECHANICAL &amp; STAIR 2:

- DEMOLISH OLD MECHANICAL SYSTEMS
- INSTALL NEW MECHANICAL SYSTEMS
- NEW HANDRAIL ON BOTH SIDES OF STAIR 2
- NO FLOOR CEILING WALL IMPROVEMENTS

Basement Floor Scope of Work Plan

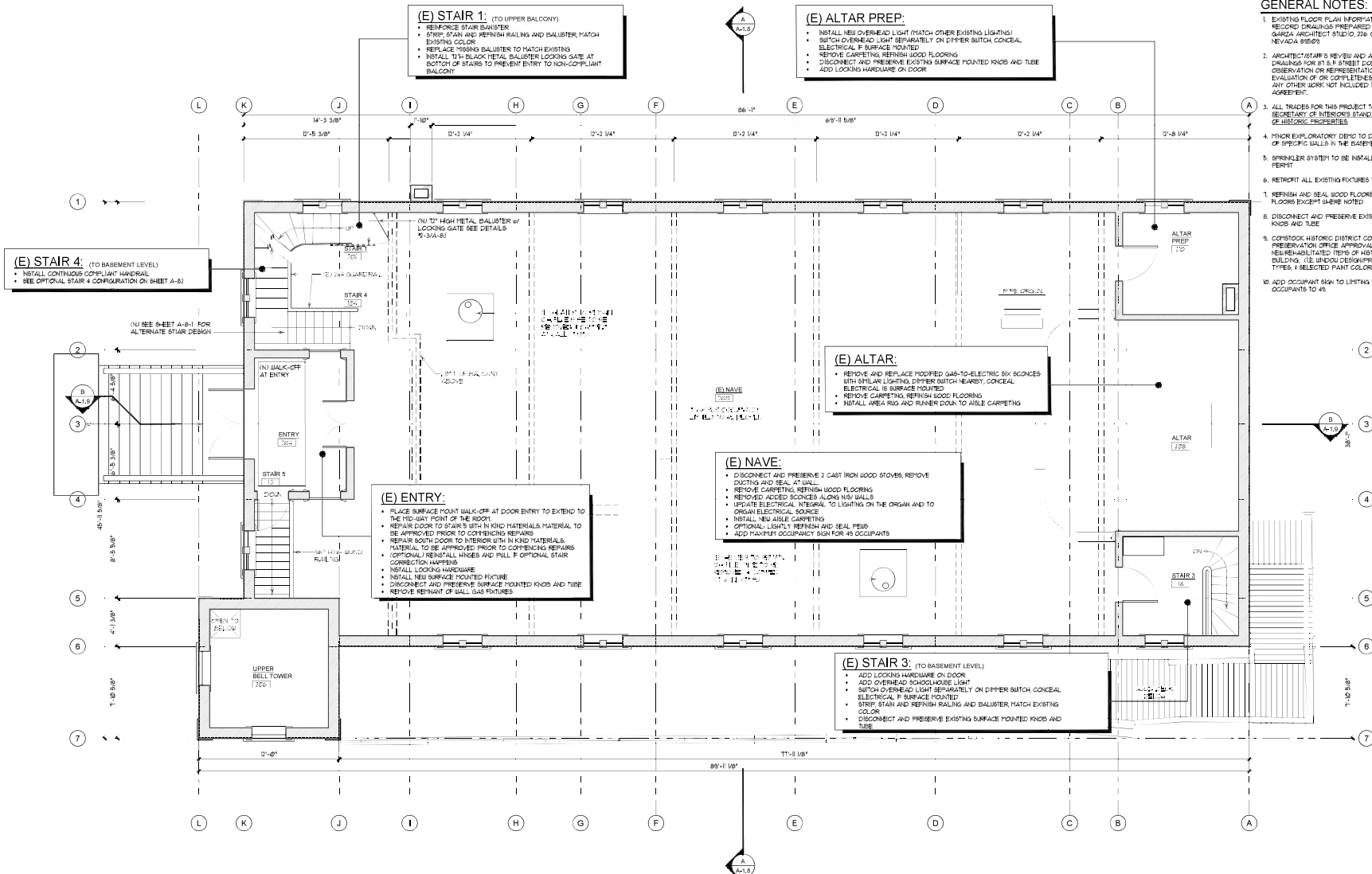
SCALE 1/4" = 1'-0"

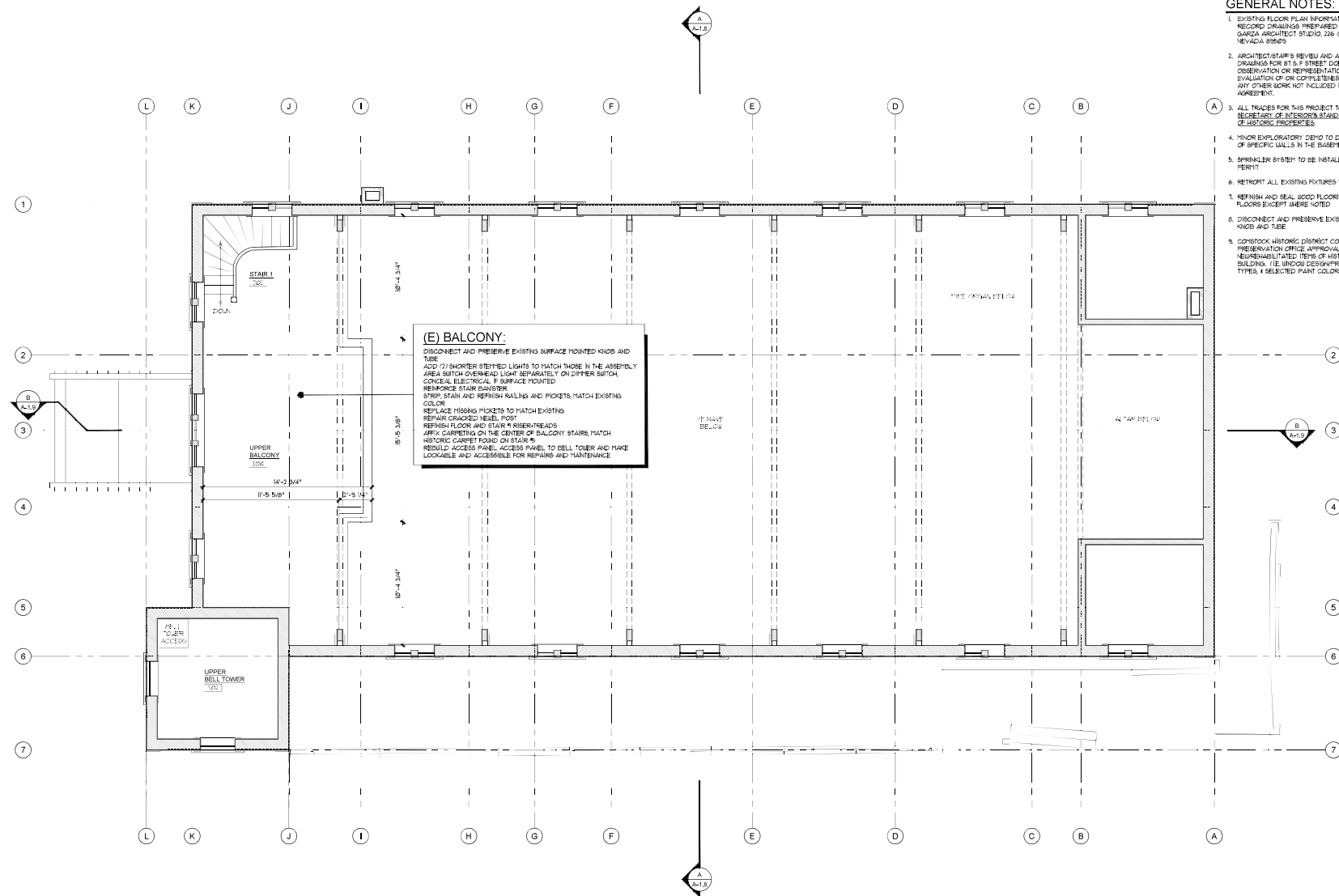




1. EXISTING FLOOR PLAN INFORMATION WAS TAKEN FROM RECORD DRAWINGS PREPARED BY HERCULES DE LA SALLE ARCHITECT STUDIO, 736 CALIFORNIA AVE. BERKELEY, CALIF. 94605.
2. ARCHITECTURE'S REVIEW AND ANALYSIS OF RECORD DRAWINGS AND ITS A RECENT VISUAL SURVEY, VISUAL OBSERVATION OR REPRESENTATION AS TO THE ADEQUACY, EVALUATION OR COMPLETENESS OF CONCEALED WORK OR OTHER WORK NOT INCLUDED IN THE UNDERSIGNED'S AGREEMENT.
3. ALL TRADERS FOR THIS PROJECT TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.
4. MINOR EXPLORATORY TESTS TO DETERMINE CONSTRUCTION OF SPECIFIC WALLS IN THE BASEMENT LEVEL WILL BE REQUIRED.
5. SPRINKLER SYSTEM TO BE INSTALLED UNDER SEPARATE PERMIT.
6. RETROFIT ALL EXISTING FIXTURES TO MEET, WHERE POSSIBLE.
7. REPAIR AND SEAL GROUND FLOORS THROUGHOUT. ALL FLOORS EXCEPT 1ST FLOOR.
8. DISCONNECT AND PRESERVE EXISTING SLEAVE POINTED KNOTS AND TUBES.
9. CONSIDER HISTORIC STRUCTURE CONTRIBUTION A STATE HISTORIC PRESERVATION OFFICE APPROVED, ON ALL REHABILITATED ITEMS OF HISTORIC FEATURES WITHIN THE BUILDING. (12 UNIFORM DESIGN PRINCIPLES, ALL PORTALS ARE SELECTED PARTS).
10. ADD OCCUPANT SIGN TO LISTING MAXIMUM NUMBER OF OCCUPANTS TO 45.

ALL WORK SHALL CONFORM TO THE U.S. SECRETARY OF THE INTERIORS'S STANDARDS FOR THE REHABILITATION UNLESS OTHERWISE APPROVED BY THE STATE HISTORICAL PRESERVATION OFFICE





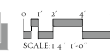
# GENERAL NOTES:

- EXISTING FLOOR PLAN INFORMATION WAS TAKEN FROM RECORD DRAWINGS PREPARED BY MERCEDES DE LA GARZA ARCHITECT STUDIO, 226 CALIFORNIA AVE. RENO, NEVADA 89505.
- ARCHITECT/STAFF'S REVIEW AND APPROVAL OF RECORD DRAWINGS FOR 81 & F STREET DOES NOT IMPLY ANY FIELD OBSERVATION OR REPRESENTATION AS TO THE ADEQUACY, EVALUATION OR COMPLETENESS OF CONCEALED WORK, OR ANY OTHER WORK NOT INCLUDED IN THE OWNER/ARCHITECT AGREEMENT.
- ALL TRADES FOR THIS PROJECT TO COMPLY WITH THE SECRETARY OF INTERIORS STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.
- PIVOT EXPLORATORY DEMO TO DETERMINE CONSTRUCTION OF SPECIFIC WALLS IN THE BASEMENT LEVEL WILL BE REQUIRED PERMIT.
- SPRINKLER SYSTEM TO BE INSTALLED UNDER SEPARATE PERMIT.
- RETIROFIT ALL EXISTING FIXTURES TO LED, WHERE POSSIBLE.
- REFINISH AND SEAL WOOD FLOORING THROUGHOUT, ALL FLOORS EXCEPT WHERE NOTED.
- DISCONNECT AND PRESERVE EXISTING SURFACE MOUNTED KNOBS AND TUBE.
- CONTRAST HISTORIC DISTRICT COMMISSION & STATE HISTORIC PRESERVATION OFFICE APPROVAL REQUIRED ON ALL NEURERABILATED ITEMS OF HISTORIC FEATURES WITHIN THE BUILDING (I.E. WINDOW DESIGN/PROFILES, ALL PORTALS TYPES, & SELECTED PAINT COLORS ETC.).

**(E) BALCONY:**  
DISCONNECT AND PRESERVE EXISTING SURFACE MOUNTED KNOBS AND TUBE  
ADD (3) SHORTER STEMMED LIGHTS TO MATCH THOSE IN THE ASSEMBLY AREA  
SWITCH OVERHEAD LIGHT SEPARATELY ON DRIVER SWITCH  
CONCEAL ELECTRICAL, F SURFACE MOUNTED  
REINFORCE STAIR BALUSTER STRIP, STAIN AND REFINISH RAILINGS AND PICKETS, MATCH EXISTING COLOR  
REPLACE MISSING PICKETS TO MATCH EXISTING  
REPAIR CRACKED METAL POST  
REFINISH FLOOR AND STAIR RISERS/STAIRS, MATCH HISTORIC CARPET FOUND ON STAIR #5  
REBUILD ACCESS PANEL, ACCESS PANEL TO BELL TOWER AND MAKE LOCKABLE AND ACCESSIBLE FOR REPAIRS AND MAINTENANCE

PROJECT NOTE:  
ALL WORK SHALL CONFORM TO THE U.S. SECRETARY OF THE INTERIORS STANDARDS FOR THE REHABILITATION UNLESS OTHERWISE APPROVED BY THE STATE HISTORICAL PRESERVATION OFFICE.

2nd Floor Proposed Scope of Work Plan



# SHEET NOTES

Mercedes de la Garza, AIA  
architect studio  
www.designstudiola.com  
T: 775.333.9999  
F: 775.333.9999  
P.O. Box 1000  
Reno, NV 89505

## St. Paul's Rehabilitation & Restoration

St. Paul's Episcopal Church  
87 S. F Street  
Virginia City, Nevada  
Storey County  
001-148-01



©2017 Mercedes de la Garza AIA  
The use of this plan and all drawings is restricted to the project for which it was prepared. No reproduction or alteration of any part of this plan is permitted without the written consent of Mercedes de la Garza AIA. Drawings shall be the property of Mercedes de la Garza AIA. Drawings shall be returned to Mercedes de la Garza AIA upon completion of the project.

Drawn By: Cad Carter Studio  
Drawing Date: 06/27/22  
Drawing Author: Plan: CFS

Revisions	By	Date	Remarks

2nd Floor  
Scope of  
Work

A-23



**GENERAL NOTE:**  
ALL WORK SHALL CONFORM TO THE U.S. SECRETARY OF THE INTERIORS STANDARDS FOR PRESERVATION, UNLESS OTHERWISE APPROVED BY THE STATE HISTORIC PRESERVATION OFFICE.

- REPAIR/RECONSTRUCTION NOTES:**
- EXISTING EXPOSED STONE TO REMAIN.
  - MORTAR TO BE TREATED PER THE REPAIR REQUIREMENTS DURING AND AFTER ALL FOUNDATION WORK.
  - MORTAR CRACKS TO BE REPAIRED USING THE MORTAR MIX SPECIFICATIONS PER THE REPAIR REQUIREMENTS.
  - MORTAR JOINTS TO MATCH ORIGINAL AS NOTED AT SITE BY THE ARCHITECT.
  - EXTERIOR TO BE REPOINTED WITH JOINTS TO MATCH THOSE IN A SECTION OF WALL IDENTIFIED BY THE ARCHITECT AFTER FOUNDATION WORK IS COMPLETE.

- REPAIR OF STONE / BRICK MASONRY:**
- MORTAR MIX TO BE PART CEMENT 1/3 TO 1/2 PART HYDRATED LIME OR LIME PUTTY, 2/3 PART SAND (BY VOLUME). MORTAR COLOR TO BE APPROVED BY OWNER.
  - STONE JOINTS UNDER COVER AT JOB SITE.
  - ANY NEW BRICKS FOR SMITHERS ARE TO MATCH THE COLOR AND SIZE OF THE EXISTING REPAIRS. CONTRACTOR SHOULD USE ANY BRICKS ON THE SITE AND PROVIDED BY THE OWNER. NEW BRICKS THAT DO NOT MATCH THE EXISTING SHALL BE USED IN HIDDEN LOCATIONS AS DETERMINED BY THE ARCHITECT. STRUCTURAL BRICK SHALL BE GRADE III CONFORMING TO ASTM C-60 WITH A MINIMUM COMPRESSIVE STRENGTH 17,000 PSI.
  - CONTRACTOR SHALL REVIEW THE NATIONAL PARK SERVICE PRESERVATION BRIEF'S ON TOWNHALL REPAIRS AND REPORTING. A COPY WILL BE AVAILABLE AT THE PROJECT SITE AND MAY BE OBTAINED ONLINE AT: <https://nps.gov/napr/howto/preserve-repairs/carepoint-mortar-joint.htm>

- CONTRACTOR NOTES:**
- ALL OWNER OCCUPANCY WILL EXIST DURING ENTIRE PERIOD OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE FULLY WITH THE OWNER OR HIS REPRESENTATIVE DURING CONSTRUCTION TO MINIMIZE CONFLICTS AND TO FACILITATE OWNER ACCESS.
  - CONTRACTOR SHALL TAKE GREAT CARE DURING CONSTRUCTION TO PROVIDE DUST CONTROL, PROPER EATING AND IN GENERAL, THE SAFETY AND WELL BEING OF THE OCCUPANTS AND GENERAL PUBLIC TO KEEP BUSINESS OPERATIONAL.
  - ALL REQUIRED WORKING AND SAFETY OF THE BUILDING STRUCTURE DURING THE DEMOLITION AND RECONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - EXERCISE DUE CAUTION TO PREVENT ACCIDENTAL OR INCIDENTAL POWER LOSS OR DISRUPTION OF UTILITIES.
  - CONTRACTOR SHALL PROVIDE FOR FIRE SAFETY AT ALL TIMES DURING CONSTRUCTION. ALL OPERATIONS INCLUDING TOWERING OR OTHER HEAT PRODUCING EQUIPMENT SHALL HAVE FIRE EXTINGUISHER PRESENT AT ALL TIMES.
  - WHERE ARCHITECTURAL FEATURES WILL BE REMOVED, RETAIN WORKING EXISTING FEATURE IF POSSIBLE. IF REMOVING FEATURE IS DETERMINED, SETBACK ASBESTOS TO MINIMIZE REPLACE FEATURE WITH EXACT PROPERTIES OF EXISTING.
  - SPECIAL INSPECTION REQUIRED FOR VERIFICATION OF HELICAL PILE TORQUE VALUES. INSPECTION TO BE PROVIDED BY THE EOR. IMMEDIATE INSPECTIONS 48 HOURS MIN. IN ADVANCE.
  - ALL PIER DIMENSIONS TO BE VERIFIED IN THE FIELD. IF THE CONTRACTOR SHOULD FIND ANY SIGNIFICANT DISCREPANCIES OR ISSUES AT THE TIME OF CONSTRUCTION HE IS TO NOTIFY THE EOR IMMEDIATELY.
  - HELIX SIZE AND CONFIGURATION MAY VARY IN ORDER TO ACHIEVE MINIMUM PILE RESISTANT DEPTH AND TORQUE VALUE. CAPACITY AS SPECIFIED BY EOR. PROFILES MAY NEED TO BE SUBSTITUTED FOR HELICALS IF PROPER VALUES CANNOT BE ACHIEVED. CONTACT EOR FOR ADDITIONAL DESIGN.

**SUPPORTWORKS PILE LEGEND:**

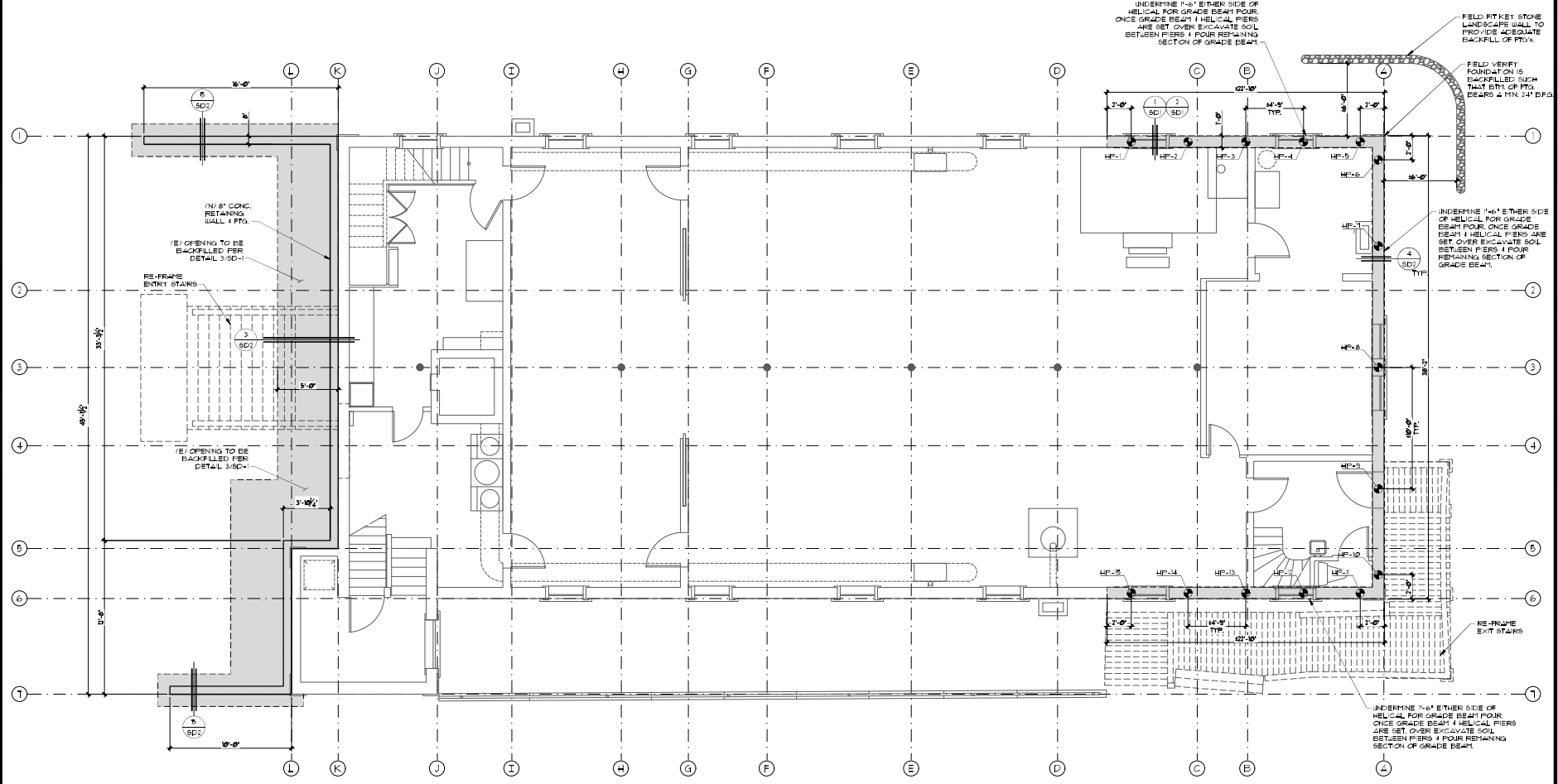
HELICAL PILE WITH  
HP-288S BRACKET  
1/2" MIN. BELOU GRADE  
HELIX 2" MIN. CONFIGURATION

**HELICAL PILE FIELD PRESSURE REQUIREMENTS**

PILE NO.	MIN. TORQUE (FT-LBS)	MIN. PRESSURE (PSI)
1, 3, 11, 15	1500	1500
2, 4, 6, 10, 14	4500	1500
5, 7, 8, 9, 12, 13	1000	300
16	2500	500

**SPECIAL INSPECTIONS**  
CONTRACTOR TO PROVIDE SPECIAL INSPECTION PER IBC CHAPTER 17 AND SCHEDULE EOR FOR INSPECTION A MINIMUM OF 48 HRS IN ADVANCE FOR THE FOLLOWING ITEMS:

- HELICAL PILE PLACEMENT



**FOUNDATION REPAIR**  
SCALE 1/4" = 1'-0"

**K2 ENGINEERING**  
860 Maestro Dr., Ste. A  
Reno, NV 89511  
P: (775) 355-0505  
F: (775) 355-0566  
[www.k2eng.net](http://www.k2eng.net)

**St. Paul's Church**  
Storey County, Nevada  
37 S. F Street  
APN: 001-148-01

Brandt T. Kennedy, P.E.  
Jared A. Krupa, P.E.



**Revisions**

Rev	Description	Date
1	SHPO 1/28/2023	12/23/2022
2		
3		

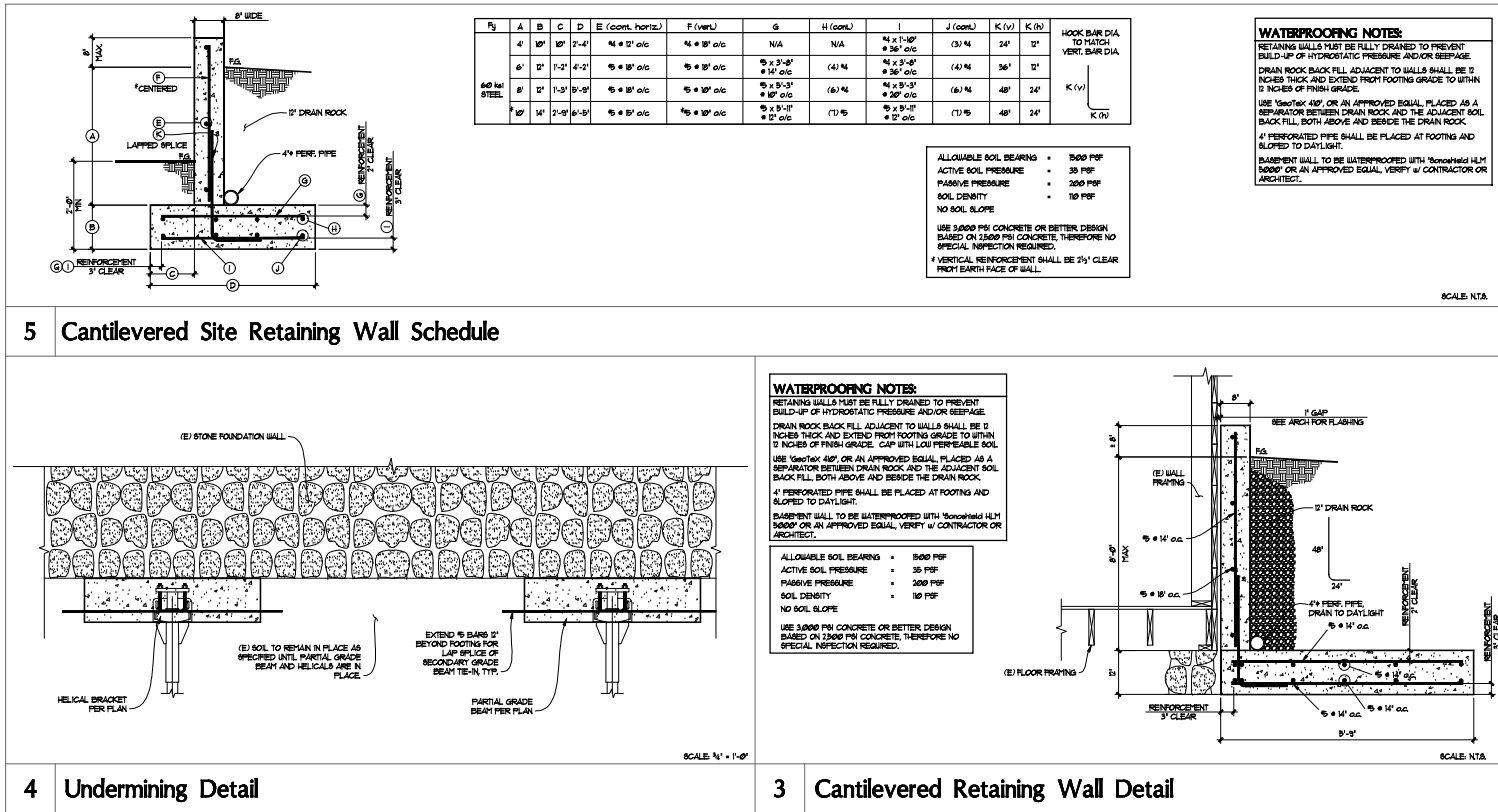
Date: 12/23/2022  
Drawn: K2  
Checked: BTM  
Project No: 22-297

Foundation  
Plan

**S-1**









# United States Department of the Interior

BUREAU OF LAND MANAGEMENT  
Sierra Front Field Office  
5665 Morgan Mill Road  
Carson City, Nevada 89701  
<http://www.blm.gov/nv>



In Reply Refer To:  
CCDO-CR-23-136  
8100 (NVC0200)

Kristen Brown, Comstock Preservation and History Officer  
Comstock Historic District Commission  
P.O. Box 128  
Virginia City, NV 89440

APR 12 2023

RECEIVED

APR 19 2023

COMSTOCK HISTORIC  
DISTRICT COMMISSION

Re: *BLM Annual Letter Report for the United Comstock Merger Mill Programmatic Agreement*

Dear Ms. Brown,

The Bureau of Land Management (BLM), Sierra Front Field Office, has prepared this Annual Letter Report for 2022 in accordance with Stipulation III of the *Programmatic Agreement between the Bureau of Land Management, the Advisory Council on Historic Preservation, and the Nevada State Historic Preservation Officer Regarding the United Comstock Merger Mill at American Flat, Storey County, Nevada (PA)*. This report provides a record of mitigation completed and in-progress during 2022. All parties of the PA will receive a copy of this report.

## 2022 Completed Mitigation and Public Outreach

The BLM partnered with the Carson City School District, K-12 Curriculum Coordinator, Alison Cadwell, to complete a heritage education lesson plan for fourth grade students with a focus on the history of the United Comstock Merger Mill. The lesson plan was completed in March 2022 and shared with the Nevada Department of Education for dissemination to schools across Nevada. A one-lesson heritage education plan was required in the PA, Stipulation I.E.9. A copy of the lesson plan is enclosed.

Additionally, the BLM presented a poster at the Society for American Archaeology 88th Annual Meeting in Portland, OR on April 2, 2023, that summarizes the mitigation and public outreach that has been completed for the United Comstock Merger Mill. The poster is entitled, "Preserving History with Virtual Reality: The Future of Archaeological Public Outreach at the Historic United Comstock Merger Mill." A PDF of the poster is available online at tDAR at the following web address: <https://core.tdar.org/document/474122/preserving-history-with-virtual-reality-the-future-of-archaeological-public-outreach-at-the-historic-united-comstock-merger-mill>

## 2022 In-Progress Mitigation

The BLM has been in communication with Lara Mather, Storey County Community Relations Coordinator, for the placement of the last required informational kiosk in Virginia City, NV,

INTERIOR REGION 10 • CALIFORNIA-GREAT BASIN

CALIFORNIA\*, NEVADA\*, OREGON\*

\* PARTIAL



since 2020. Storey County has been unable to partner with the BLM on this project due to other county priorities, including the COVID-19 pandemic. Due to the on-going delays and staffing limitations of the county, the BLM will now consider placing the final required kiosk on BLM-managed lands in or near Virginia City. If you have any recommended locations on BLM-managed, please respond to this letter with specific sites that would be desired for the last kiosk.

#### Review of the PA

Stipulation IX of the PA states that the signatories and concurring parties will review the PA every ten years. The BLM invited all the signatories and concurring parties to review the PA last year, and proposed to keep the PA as is. In a letter dated March 11, 2022, the State Historic Preservation Officer agreed with this approach. No other comments, concerns, or amendments were suggested by any of the signatories or concurring parties.

#### Summary

The BLM has completed the lesson plan required in Stipulation I.E.9 of the PA. One mitigation project remains, and the BLM proposes to install the last kiosk on BLM-managed lands near Virginia City. Should you have any questions or comments about the information provided in this letter, please contact me or Shannon Goshen, Archaeologist, at (775) 885-6152 or [sgoshen@blm.gov](mailto:sgoshen@blm.gov).

Sincerely,

BRADY OWENS

Digitally signed  
by BRADY OWENS  
Date: 2023.04.13  
07:42:59 -07'00'

Brady Owens  
Acting Field Manager  
Sierra Front Field Office

#### Enclosures

cc: Frank Lands, Regional Director, National Park Service, Regions 8, 9, 10, and 12  
Rebecca L. Palmer, Nevada State Historic Preservation Officer  
Reid Nelson, Director, Office of Federal Agency Programs, ACHP

An amended COA application will be submitted

**COMSTOCK HISTORIC DISTRICT COMMISSION**  
**P.O. BOX 128**  
**VIRGINIA CITY, NEVADA 89440**

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Pursuant to Nevada Revised Statutes Section 384.110, application is hereby made to the Comstock Historic District Commission for a Certificate of Appropriateness for work I propose to undertake as described below:

Property address/description: Various locations within Storey and Lyon Counties including but not limited to the town of Virginia City.

Located in the community of \_\_\_\_\_

Description of proposed work:

☐ New Structure

☒ Alteration of / Addition to Existing Structure

Replacement of existing lights on wood and steel streetlight poles owned by NV Energy. Any NV Energy lights that need repair/replacement will be retrofitted with a new LED "Night Sky Compliant" currently included in NV Energy standards.

☐ Move Existing Structure \_\_\_\_\_

(Reason) \_\_\_\_\_

☐ Demolish Existing Structure \_\_\_\_\_

(Reason) \_\_\_\_\_

By making this application I hereby agree to indemnify and save and hold harmless the State of Nevada and the Counties of Lyon and Storey and their agents and employees from any and all claims, causes of action or liability arising from the granting of this application. I further agree to strictly comply with any and all conditions of the *Certificate of Appropriateness*, if issued, and the regulations and laws of the Comstock Historic District Commission.

**RECEIVED**

**MAR 23 2023**

**COMSTOCK HISTORIC  
DISTRICT COMMISSION**

**RECEIVED**

**MAR 23 2023**

**COMSTOCK HISTORIC  
DISTRICT COMMISSION**

**RECEIVED**

**MAR 23 REC'D**

**COMSTOCK HISTORIC  
DISTRICT COMMISSION**



Owner or Designated Representative:

Name:

Michael Beckett \_\_\_\_\_ Date 3/20/2023\_

Mailing Address

875 E Long St.

Carson City, NV. 89706

Signature



Telephone \_\_\_\_\_

CHDC Staff:

Received By \_\_\_\_\_ Title \_\_\_\_\_ Date \_\_\_\_\_

# Streetworks

## DESCRIPTION

The Caretaker™ LED area and road luminaire combines high performance, low maintenance and easy installation in a simple, extremely economical package. Designed for years of worry-free operation, the Caretaker luminaire is the perfect area lighting solution for both full-cutoff needs or landmark applications where a highly visible light source is desired. The Caretaker luminaire is also ideal for municipal street lighting retrofits requiring superior optical performance and fast payback on capital.

Catalog #	Type
Project	
Comments	
Prepared by	

## SPECIFICATION FEATURES

### Construction

Single heavy-duty die-cast aluminum housing. Access to stamped aluminum door via a single captive screw (tool-less access option available) for easy maintenance and installation. Corrosion resistant hardware.

### Optical

Precision molded optics are designed to shape the distribution, maximize efficiency, and application coverage in each T2, T3 and T5R distributions. Available in six lumen packages at 4000K CCT and minimum 70CRI standard. Optional 3000K / 70CRI, 5000K / 70CRI, and 2700K / 80CRI also available. Fully compatible with SR Acrylic refractor and ANSI/NEMA Standard refractor assembly. For spill light control, an optional house side shield can be installed over the T2 or T3 optic or the drop shield house side shield can be used in conjunction with the T5R or SR options. For zero uplight

compliant luminaires, the U0 option provides full cutoff with a spun aluminum shield.

### Electrical

LED driver is standard universal voltage and 0-10V dimming with integrated 6kV surge protection. DALI compatible driver available. 10kV or 20kV additional surge protection available. Three position tunnel type compression terminal block standard. Luminaire is designed for efficient thermal management; heat is transferred away from the LEDs for optimal efficiency, light output, and life. Lumen maintenance of 92% at 50,000 hours.

### Mounting

Two-bolt slipfitter for mounting on 1-1/4" to 2" standard pipe (1-5/8" to 2-3/8" O.D.). Also available with a bracket for mounting to wood poles, square poles, or walls without a pipe.

### Finish

Unfinished raw aluminum standard. Optional five-stage super TGIC polyester powder coat paint, 2.5-mil nominal thickness for superior protection against fade and wear. Consult your lighting representative at Cooper Lighting Solutions for a complete selection of standard colors. Coastal Construction option available.

### Warranty

Standard five-year warranty. Optional ten-year warranty, please see your Cooper Lighting Solutions Streetworks sales representative for more information.

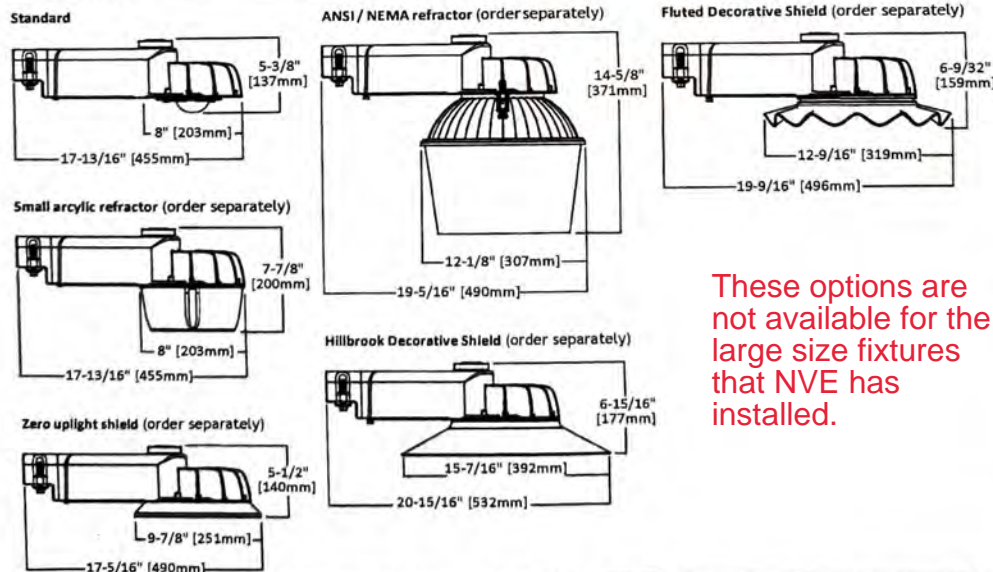


## CRTK2 CARETAKER LED

Solid State LED

DUSK-TO-DAWN  
AREA/ROADWAY LUMINAIRE

## DIMENSIONS



These options are not available for the large size fixtures that NVE has installed.

NVE Uses Cooper Lighting Part Number:  
CRTK2C016-D-U-T5R-8027-SR-TH-10MSP-V-B24-A-  
U130229



**CERTIFICATION DATA**  
UL/cUL Wet Location Listed  
ISO 9001  
IP66 Rated (Optic)  
3G Vibration Rated  
LM79/LM80 Compliant  
RoHS Compliant

**ENERGY DATA**  
Electronic LED Driver  
>0.9 Power Factor  
<20% Total Harmonic Distortion  
120-277V, 50/60Hz  
-40°C Minimum Ambient  
Temperature Rating  
+40°C Maximum Ambient  
Temperature Rating

**EPA**  
Effective Projected Area (Sq. Ft.)  
Standard: 0.49  
Full Cutoff: 0.52  
Small Acrylic Refractor: 0.58  
ANSI/NEMA Refractor: 1.01

**SHIPPING DATA**  
Approximate Net Weight:  
7 - 8 lbs. (3.2 - 3.6 kgs.)





State of Nevada  
Department of Conservation and Natural Resources  
Joe Lombardo, *Governor*  
James A. Settelmeyer, *Director*  
Rebecca Palmer, *Administrator*  
Joseph Curtis, *Chair*

April 13, 2023

Jeff McKenzie  
Nevada Energy  
875 E. Long Street  
Carson City, NV 89706

Dear Mr. McKenzie:

The Comstock Historic District Commission (CHDC) received your Certificate of Appropriateness (CoA) Application for replacement light fixtures on March 23, 2023, and received the CRTK2 Caretaker LED spec sheet on April 10, 2023. As previously discussed, some lights within the historic district were replaced without the CoA required by NRS 384.

Pursuant to NRS 384.120, the CHDC discussed the submitted materials at a public hearing on April 10, 2023. The CHDC is deferring action on your CoA until you provide additional information.

The CHDC letter dated February 17, 2023 (enclosed) requested alternative light fixture recommendations. To date, information regarding alternative light fixtures has not been received.

For the lights to be discussed at the May 8, 2023 public meeting, the CHDC is requesting the following information to be submitted no later than April 28, 2023:

- Alternative light fixtures that could be installed in lieu of the Streetworks CRTK2, including -
  - Descriptions of the alternatives, and
  - Example photos of the alternatives in situ.
- Possible methods of shielding or diffusing the CRTK2 lights to reduce their intensity. The cut sheets for CRTK2 include options for refractors and decorative shields.
  - Please indicate which of those refractor/shield options are available, and
  - Provide example photos of those options in situ.

If you have questions regarding this correspondence, please contact Comstock Preservation and History Officer Kristen Brown at [knbrown@shpo.nv.gov](mailto:knbrown@shpo.nv.gov) or (775) 847-0281.

Sincerely,

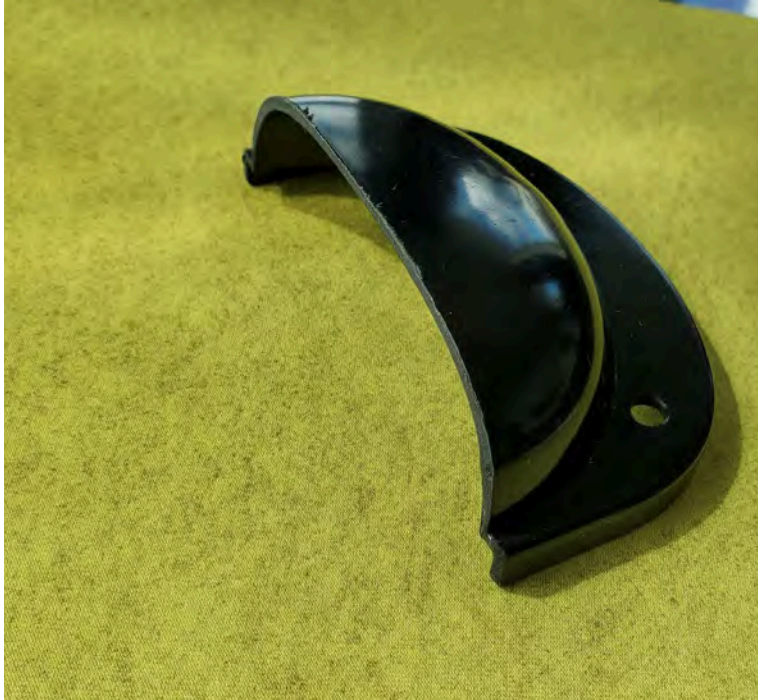
A handwritten signature in blue ink, appearing to read 'Joe Curtis'.

Joe Curtis  
Chair, Comstock Historic District Commission

Enclosure

Cc: Michael Beckett, NV Energy

Proposed deflectors





Deadwood (National Historic Landmark) – Downtown:



Deadwood – Edge of town:





**Leadville (National Historic Landmark) – Downtown decorative lights and downtown intersection lights:**



**Leadville – Edge of Town:**



**Crested Butte (National Register) – Downtown:**



**Crested Butte – Edge of Town, Two Kinds:**



**Nevada City (National Historic Landmark) – Downtown:**



**Nevada City – Edge of town:**





**Placerville (National Register) – Downtown:**



**Placerville – Edge of town:**



**Sonora – Downtown:**



**Sonora – Edge of town:**



**Sonoma (National Historic Landmark) – Downtown:**



**Sonoma – Edge of town, two kinds:**





**Telluride (National Historic Landmark) – Downtown AND at edge of town  
(didn't see modern lights)**



**NRS 384.060 Meetings of Commission; quorum.**

1. Meetings of the Commission shall be held at such times and places as the Chair or a majority of the commissioners may designate, or as shall be established by the regulations adopted by the Commission.
  2. Five members of the Commission shall constitute a quorum for all purposes and the affirmative vote of a majority of the members present shall be necessary for the adoption or promulgation of any regulation or order of the Commission.
- (Added to NRS by 1969, 1636)

**NAC 384.120 Meetings.**

1. Regular meetings of the commissioners must be held at the office of the commission in Virginia City on the first Tuesday of each month.
  2. Special meetings of the commissioners may be called by or at the request of the chairman or two commissioners. The chairman shall fix the time of the special meeting and the place of the meeting, which may be within or without the historic district.
  3. If less than a majority of commissioners are present, a majority of the commissioners present may adjourn a meeting from time to time without further notice.
- [Virginia City Hist. Dist. Comm'n, Art. I §§ 1, 2 & part 5, eff. 10-13-72]