

NEVADA COMMISSION FOR CULTURAL CENTERS & HISTORIC PRESERVATION (CCCHP) GRANT APPLICATION

	NEVADA STATE HISTORIC PRESERVATION OFFICE	<i>SHPO Use Only</i>
Initials: <u>CC</u> Received: <u>5-1-24</u>		
Postmarked: <u>4-29-24</u> Delivery Svc: <u>USPS</u>		

APPLICATION COVER PAGE This unaltered form must be submitted as the cover page for the application. Do not staple or bind application documents.

Grant Cycle Year(s) 2023*-2024

Applicant Organization: White Pine Community Choir Association
 EIN (Taxpayer Identification Number): 83-1494034
 Mailing Address: P. O. Box 150067
 City: Ely County: White Pine ZIP: 89315
 Project Contact: Mary Eldridge Title: Secretary/Grants Director
 Daytime Phone: 775-296-0830 Evening Phone: 775-296-0830
 Fax: _____ Email: eldridge3974@gmail.com

Historic Property Name: Centennial Fine Arts Center Date Built: 1927
 Property Owner Name and Address: White Pine Community Choir Association
 Project Address: 910 Aultman Street
 City: Ely County: White Pine ZIP: 89301
 Property Insured: Yes; please enclose one copy of policy No; please explain: _____

Project Title: ADA Access Phase Two
 Project Type: Rehabilitation/Construction Planning/Construction
 Architectural/Engineering Study/Construction

Project Synopsis (Brief):

This projects entails completion of the ADA access. Phase One included construction of the elevator shaft, installation of a new exterior door to access the elevator, and electrical upgrades to increase the building's carrying capacity to accommodate the elevator. The major components of Phase Two are to purchase and install the elevator, build an ADA compliant ramp to access the lower level, and install the electrical and mechanical equipment for the elevator system

Proposed Start Date: 12/1/2024

Proposed End Date: 5/31/2025

Project Budget Summary:	
Amount Requested:	<u>\$ 318,608.00</u>
Proposed Match:	
Cash:	<u>\$ 30,000.00</u>
In-Kind/Donations:	_____
Total Project Budget:	<u>\$ 348,608.00</u>
 If Applicable, Minimum Amount Requested	 <u>\$ 318,608.00</u>


Applicant's Authorized Signature*
Name: <u>Mary R. Eldridge</u>
Title: <u>Secretary/Grants Director</u>
Date: <u>4/29/2024</u>

***Sign in blue or black ink. Application packets without original signatures will be considered incomplete.**

NEVADA COMMISSION FOR CULTURAL
CENTERS & HISTORIC PRESERVATION (CCCHP)
GRANT APPLICATION

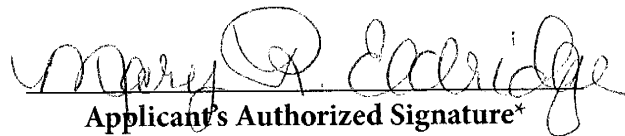


NEVADA
**STATE HISTORIC
PRESERVATION OFFICE**

APPLICATION COVER PAGE Cont.

Handbook Verification Form

- I HAVE READ THE CCCHP GRANT HANDBOOK, AND
- I HAVE COMPLETED THIS CCCHP GRANT APPLICATION, AND
- I CERTIFY THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.


Applicant's Authorized Signature*

Name: Mary R. Eldridge

Title: Secretary/Grants Director

Date: 4/28/2024

*Sign in blue or black ink. Application packets without original signatures will be considered incomplete.

NEVADA COMMISSION FOR CULTURAL
CENTERS & HISTORIC PRESERVATION (CCCHP)
GRANT APPLICATION



NEVADA
STATE HISTORIC
PRESERVATION OFFICE

APPLICATION COVER PAGE Cont.

Application Checklist

Directions: Assemble the application in the following order and initial in blue or black ink on the lines to confirm that each of the required components are included in the application package.

1. Cover Pages

mr Application Cover Page

mr Handbook Verification Form

mr Application Checklist

2. Project Narrative

mr A. Questions (No more than 5 pages)

B. Supplemental Material

mr A paragraph (200 words maximum) describing the current or intended future use of the property and cultural center programming.

mr County Assessor print out showing the current owner of the property with the APN number

mr Photographs of all exterior elevations with views and all major rooms and project rooms, identified and keyed to a site plan

mr Organization's information including:

- Articles of incorporation, mission statement, length of time established, and history
- A list of current board members
- Long-range plan including information on how frequently the plan is updated
- **If applicable:**
- A list of activities for the past fiscal year
- A detailed report on current CCCHP grant status as well as the outcome of previous CCCHP grants
- A current list (last three years) of all grants and additional funding, including amounts the organization has or will receive

3. Budget

mr Detailed Budget

- Completed Budget Form
- Attached itemized lists and/or contractor quotes that break down labor and material costs

mr Audit

- Most recent audit for the organization. If there is no audit, provide an explanation of why an audit was not completed and how bookkeeping is managed.

mr Insurance

- Proof of insurance for the property or a justification for why there is no insurance

mr Resumes

- All principal professionals involved in planning, design and management of the proposed project

Initial to confirm that the applicant understands that applications lacking any of the required information listed above are ineligible for review by the Commission.

**White Pine Community Choir
Application for CCCHP Funding – Narrative Description**

**Centennial Fine Arts Center
ADA Access Phase Two**

Project Narrative

1. Project Description

The White Pine Community Choir Association (WPCCA) is restoring the historic Ely Latter Day Saints Stake Tabernacle, now known as the Centennial Fine Arts Center (CFAC), 910 Aultman Street, Ely, Nevada.

A prominent feature in Ely's downtown, the Centennial Fine Arts Center (CFAC) was designed by Joseph Van Carlos Young, a grandson of Brigham Young, and completed in 1927. The CFAC is a reminder of the early presence of the Church of Jesus Christ of Latter-day Saints in Ely. The two-story brick tabernacle is T-shaped, with a gabled nave extending toward Aultman Street and a rear transept capped by a hipped roof. Brick and concrete quoins and a frieze embellish the walls. Cornice returns, a Palladian-arched main entrance, and keystones in the semicircular-topped window openings are details taken from the Colonial Revival style. The L.D.S. Church vacated the building in 1977 after erecting a new stake center several miles away. In 1992, the WPCCA submitted a successful application, and the CFAC is now listed on the National Register of Historic Places (NRHP). The CFAC is an integral part of the downtown area. It and the county's historic courthouse flank a county park popular with locals and community visitors.

This proposal seeks funding to continue the restoration of the CFAC. In 2023, two major projects were completed: asbestos abatement/roof replacement and Phase One of the ADA access. Funding is now requested for Phase Two of the ADA access. Originally designed as one project, increased costs and supply chain delays during the COVID-19 pandemic necessitated splitting the project into two phases. Phase One, completed in July 2023, included constructing the elevator shaft, installing a new ADA access door, and upgrading the building's electrical capacity. The major work components in Phase Two will include the purchase and installation of the elevator, construction of an ADA-compliant ramp, and electrical and mechanical connections for elevator operations. The project plans were previously approved by the State Historic Preservation Office (SHPO) during Phase One and we are ready to start the permitting process as soon as the funding approval is secured. The construction is expected to be completed by May 31, 2025. The only variable may be the delivery date of the elevator.

WPCCA will contract with Schell Creek Construction, Fernley, Nevada, to complete the project's construction. Schell Creek Construction completed Phase One of the ADA project and has experience in historic building preservation/restoration. The owner also has deep roots in White Pine County and has expressed interest in seeing the building restored for community

use. Principal WPCCA members overseeing the grant will be Susan Wetmore, President; Mary Eldridge, Secretary/Grants Director; and Lori Drew, Finance Officer.

The WPCCA purchased the building in 1986 and maintains title to the property.

2. Building Use and Community Involvement

Since 1986, the building has been used for weekly choir rehearsals, performances, and other community events such as quilt shows, dance recitals, WPCCA fundraising events, and periodic meetings for organizations such as the Lincoln Highway Association. The downstairs area is also a large open space, perfect for cheer and gymnastics. Local teachers have rented this for over a decade and serve approximately 150 students annually.

In 2018, the Great Basin Heritage Area Partnership (GBHAP) collaborated with the Partners for Sacred Places (PSP) and the WPCCA to host a two-day charette to generate programmatic ideas for future utilization of the CFAC that would enrich the community. This event was advertised locally and open to the public. About forty attendees brainstormed ideas and participated in the planning sessions.

In addition to demonstrating that there was a great deal of interest among community members to use the building in a wide variety of ways once it was restored and made welcoming, the PSP staff facilitated a dialogue among WPCCA members concerning "big picture planning" and organizational restructuring to be able to save and restore the CFAC. This event proved to be a turning point – the result was a revitalized WPCCA, which is determined to restore the CFAC building and continue to serve the community.

The CFAC has been the location for some well-received community events. In March 2023, the Ely Film, Art, and Music Festival held their Red-Carpet Opening Night at the building. Residents and out-of-town participants danced to swing-era music. In December 2023, the WPCCA held a holiday Fezziwig Ball, celebrating the enjoyment of conviviality and community camaraderie exhibited by Ebenezer Scrooge's boss Mr. Fezziwig. Approximately 90 people attended, with 80% dressed in period costumes. WPCCA members received many pleas to make this an annual affair, and plans are underway for 2024. These events have brought a flood of requests to use the building from a board game club, local bands, youth, and adult dance groups, the high school prom, Great Basin College graduations, and family reunions.

These events have validated choir and community visions of what a fully restored CFAC will offer our county. They have also spurred interest in the association, both in historic preservation efforts and as a functioning community choir.

Once the building restoration is completed, the range of activities in the CFAC, as envisioned by community members at the planning charette, will fall into five major categories: conferencing and gathering space, arts and culture, heritage and tourism, education and community, and wedding rental and event generation.

The possible tourism and heritage uses for the CFAC include using the CFAC as the Ely welcome center; part of the tour of Ely's historic buildings; Bristlecone Convention Center overflow, hosting smaller conventions and meetings; venue for storytelling, museum, musical and theater events; venue for traveling performances similar to the Eureka Opera House; venue for artistic and craft exhibitions; venue for social events such as regional meetings of organizations, etc. The WPCCA will seek to develop institutional partnerships with local schools and Great Basin College to promote education, performances, and artist-in-residence programs. The building's unique structure, complexity, outstanding acoustics, and adaptability of its rooms and larger spaces offer many opportunities for various programming.

Completing Phase Two of the ADA access project will ensure participation by all who wish to attend events at the center.

3. Project Support/Financial

Schell Creek Construction has submitted a proposal for \$348,608. The WPCCA is requesting \$318,608 from the Commission for Cultural Centers and Historic Preservation (CCCHP). The remainder of the project will be funded through a \$20,000 grant from the Great Basin Heritage Area Partnership (GBHAP) and a \$10,000 donation from White Pine Main Street.

WPCCA has successfully blended funding from various sources to complete restoration projects. The ADA Access Phase One was funded with \$229,500 from CCCHP, with an additional \$145,000 from the GBHAP, E. L. Cord Foundation, Cashman Family Foundation, the City of Ely, and local businesses and community members. The asbestos abatement and roof replacement was a \$405,000 project blending funding from the Environmental Protection Agency's (EPA) Rural Desert Southwest Brownfields Coalition, the Nevada Department of Environmental Protection, White Pine County, White Pine County Tourism and Recreation Board, and E. L. Cord Foundation. The roof project was featured as an example of funding partnerships at the 2023 National Brownfields conference.

Included in this funding summary are funds raised for three separate projects: the ADA access into the CFAC, the asbestos abatement and roof construction, and the stabilization of the southwest corner of the CFAC, plus funding for institutional projects such as the Building and Engineering assessment and the Section 106 investigation.

Tourism and Recreation grants	
Building and Engineering Assessment	\$13,000
Section 106 investigation	\$ 8,000
Roof project	\$12,000
Great Basin Heritage Area Partnership	
Architectural Design/ADA Access	\$ 20,000
Hardscaping/excavation/ADA access	\$ 20,000

Private Foundations	
Electrical Upgrades, site prep	\$ 25,000
Community members	
ADA access	\$ 11,000
Building assessment	\$ 5,000
Local business	
Electrical upgrades, site prep	\$ 19,000
City of Ely	
Elevator, electrical upgrades, seismic stabilization (elev.=\$35K, elec.=\$25K, seismic=\$20K)	\$ 80,000
NV State Historic Preservation Office	
CCCHP ADA access 19-20	\$229,200
Construct access, electrical upgrades	
CCCHP SW corner stabilization 21-22	\$163,659
Brownfields/EPA Roof Grant	
Demolition, abatement, construction	\$206,350
White Pine County	
Roof, seismic stabilization (roof=\$95K, seismic work=\$80K)	\$175,000
NV Dept of Environ. Protection-asbestos abatement	\$ 68,000
Roof funds-June, 2023	\$ 21,250
Mines, EL Cord, Choir members, local	
Undesignated	
Bill and Holly Wilson	\$ 7,000
First National Bank of Ely	5,000
White Pine Main Street	<u>10,000</u>
	\$ 1,098,459

Since the WPCCA has been inundated with requests to use the building, members have begun discussing the establishment of a fee structure. Members will look at the overhead and management costs to determine reasonable fees. WPCCA has also been approached by civic and governmental groups to partner in the ongoing management of the center.

The WPCCA board of directors consists of members with the expertise to support restoration projects. In addition to long-time choir members with a vested interest in the building, the members have experience in construction, engineering, fundraising, and community involvement. The current president has guided this restoration from the original planning charette and has experience in grant writing and managing non-profit organizations. The grants director has 25 years of experience writing and managing federal and state grants, including three construction projects and administering a multi-million-dollar annual budget. The financial manager has overseen fiscal operations at the Bristlecone Convention Center and as an Administrative Services Officer II at Ely State Prison, overseeing a budget of \$63 million.

WPCCA has a proven record of managing and completing restoration projects. While the pandemic years posed supply issues and delays, members remained persistent and committed to the projects. Along the way, principals involved in the grants management have learned to work through barriers and communicate with funders to resolve any issues.

4. Planning

In 2019, the WPCCA utilized private donations and grant funding from the White Pine Tourism and Recreation Board to commission an architectural and engineering building assessment. This comprehensive document outlined a multi-step process for building restoration. The building assessment has served as a realistic guide for WPCCA members to begin the process. Phase 1 (*Structural Upgrades, Weatherization, Accessibility*) of the project includes a) structural stabilization, b) roof replacement, c) accessible entrance, and d) exterior restoration.

This document has been used to undertake the ADA access and roof projects. Remaining from that assessment is the foundation stabilization which is currently in the permitting process. The next steps will be the window restoration and exterior masonry. After the exterior restoration, the long-term plans are to hire professionals to design and consult on the interior restoration. The WPCCA proposes to hold another charette to gather community input for this process.

During the renovation process, the WPCCA plans to grow membership in the association and support a sister organization, Friends of the Centennial Fine Arts Center. Plans are to build awareness and interest among community members, including native White Pine residents moving back to our community from larger metropolitan areas accustomed to a broader range of cultural opportunities. WPCCA will also seek those in the community interested in preserving Ely's historical and architectural heritage.

We envision a financially self-supporting CFAC once the restoration and renovation are complete, establishing a center that serves as a gathering place for educational, cultural, and social events. We expect that a Friends of the CFAC non-profit will handle the day-to-day operations at that time. In the meantime, the WPCCA will be responsible for the building – daily maintenance, seeking funding to support its restoration and renovation, and attending to its needs as they arise, always keeping in mind the vision of a beautiful, functional, and completed Centennial Fine Arts Center as our guide.

White Pine Community Choir
Application for CCCHP Funding

Centennial Fine Arts Center
ADA Access Phase Two

Supplemental Materials

1. Paragraph describing the current or intended future use of the property and cultural center programming.

The White Pine Community Choir Association (WPCCA) is the owner and custodian of the Centennial Fine Arts Center, a historic building in downtown Ely, Nevada, dating back to 1927. This architectural gem serves as our choir's home and is also rented to a local dance and gymnastics teacher, benefiting approximately 150 of our community's youth. The space has been a hub of cultural and social activities, hosting a board game club, local bands for rehearsals, and a contra dance group. Notably, two tourism-driven events, the Ely Film, Art and Music Festival Red Carpet Opening Night and the WPCCA's Fezziwig Ball, have generated significant interest in the CFAC and brought in new memberships. These events have solidified our vision of the CFAC as a vibrant center for cultural and social gatherings in our community.

County Assessor's Printout

Ownership of Parcel 001-199-06

White Pine Community Choir Association

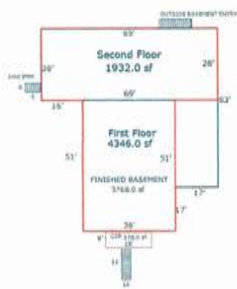
Property Information

Parcel ID	001-199-06	Parcel Acreage	0.1722
Tax Year	2024	Assessed Value	118,466
Land Use Group	COM	Tax Rate	0.0000
Land Use	400 - General Commercial	Tax Cap	High Cap
Zoning		Tax Cap Returned	
Tax District	012	Total Tax Fiscal Year (2024 - 2025)	\$0.00
Site Address	910 AULTMAN STREET ELY, NV 89301	Total Unpaid All Years	\$0.00
Neighborhood	101 - DWNT ELY & EAST ELY COMM		

[Pay Taxes](#)

Photos & Sketches

Converted Sketch



Imported Image



Assessor Descriptions

Year	Assessor Descriptions	Subdivision	Section	Township	Range	Block & Lot
Current Year 2024						
2024	W75' of S1/2 OF BLOCK 35 ,CITY OF ELY	CITY OF ELY	16	16N	63E	BLK 35

No Personal Exemptions

No Billing Information

Payment History

	Fiscal Year	Total Due	Total Paid	Amount Unpaid
+	(1994 - 1995)	\$0.00	\$0.00	\$0.00
+	(1993 - 1994)	\$0.00	\$0.00	\$0.00

Related Names

CURRENT OWNER FOR 2024 (2024 - 2025)

Name WHITE PINE COMMUNITY
CHOIR ASSN
Mailing BOX 150996
Address ELY, NV, 89315
Status Current

No Personal Property

Structure 1 of 2

Structure 2 of 2

Assessments

Taxable Value	Land	Building	Per. Property	Totals
Residential	0	0	0	0
Com / Ind.	0	0	0	0
Agricultural	0	0	0	0
Exempt	20,550	317,924	0	338,474
Pers. Exempt				0
Total	0	0	0	0

Assessed Value	Land	Building	Per. Property	Totals
Residential	0	0	0	0
Com / Ind.	0	0	0	0
Agricultural	0	0	0	0
Exempt	7,193	111,273	0	118,466
Pers. Exempt				0
Total	0	0	0	0

	New Land	New Const.	New P.P.
Residential	0	0	0
Com / Ind.	0	0	0
Agricultural	0	0	0
Exempt	0	0	0
Totals	0	0	0

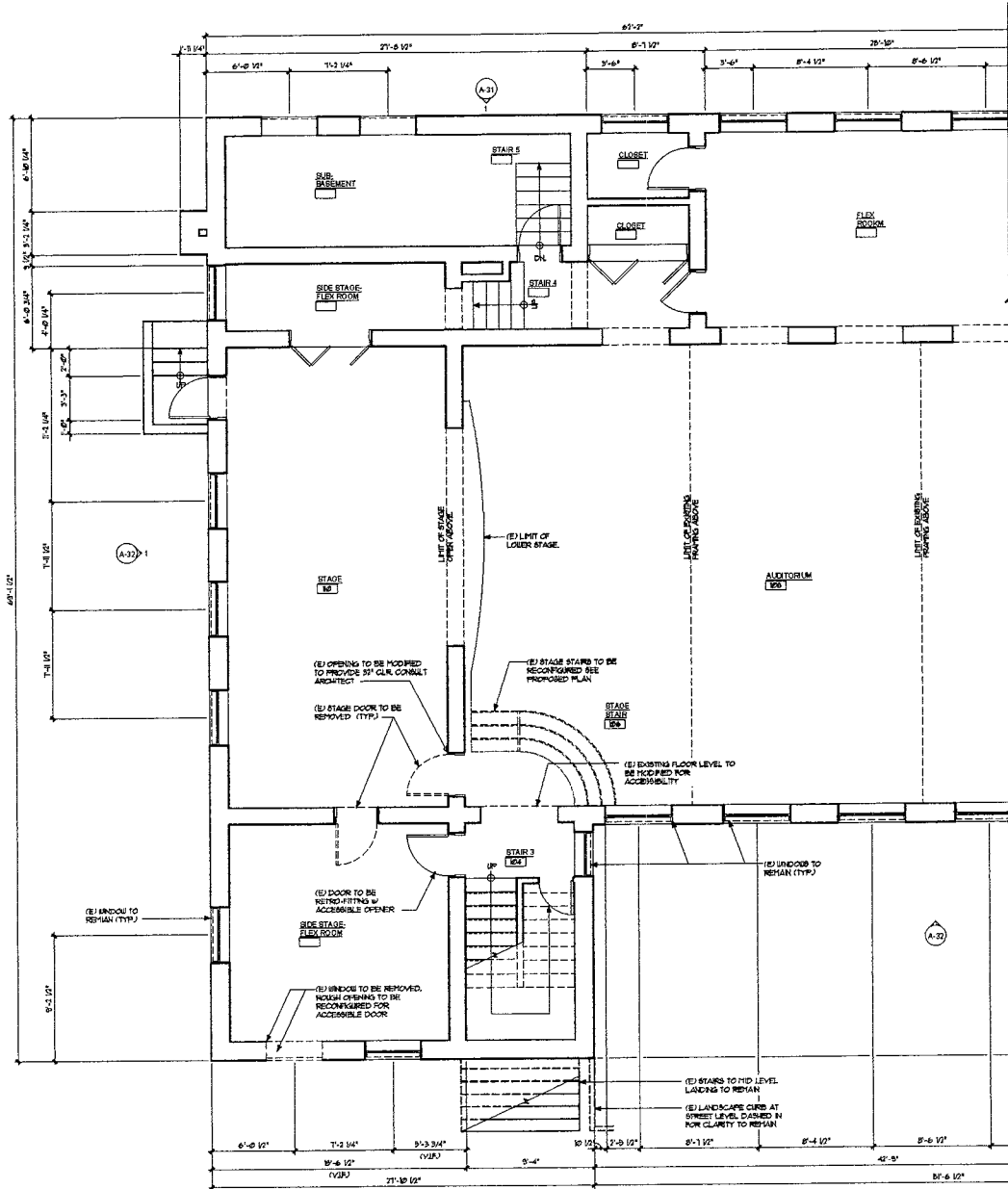
No Taxing Bodies Information

No Sales History

Photographs and Building Information

1. Site Map
2. Architect's Drawings
3. Elevation Photos and Maps
4. Photos of Work Areas with Floor Plans
(photos marked on floor plan)
5. Building Assessment and Reports

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Lower Floor Existing/Demolition Plan



GENERAL NOTES:

- EXISTING FLOOR PLAN INFORMATION TAKEN FROM DRAWINGS PREPARED BY OTHER.
- ARCHITECT'S REVIEW AND APPROVAL OF RECORD DRAWING FOR 50 LINCOLN HWY ALLIANCE DOES NOT IMPLY ANY FIELD OBSERVATION OR REPRESENTATION AS TO THE ADEQUACY, EVALUATION OF OR COMPLETION OF CONCEALED WORK, OR ANY OTHER WORK NOT INCLUDED IN THE OWNER/ARCHITECT AGREEMENT.
- ALL TRADES FOR THIS PROJECT TO COMPLY WITH THE SECRETARY OF INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC STRUCTURES.

SHEET NOTES

CENTENNIAL FINE ARTS ACCESSIBILITY IMPROVEMENTS
 Mercedes de la Cruz, AIA
 architect studio

Centennial Fine Arts Accessibility Improvements

910 Lincoln Hwy
 Ely, Nevada 89315
 White Pine County
 0019906



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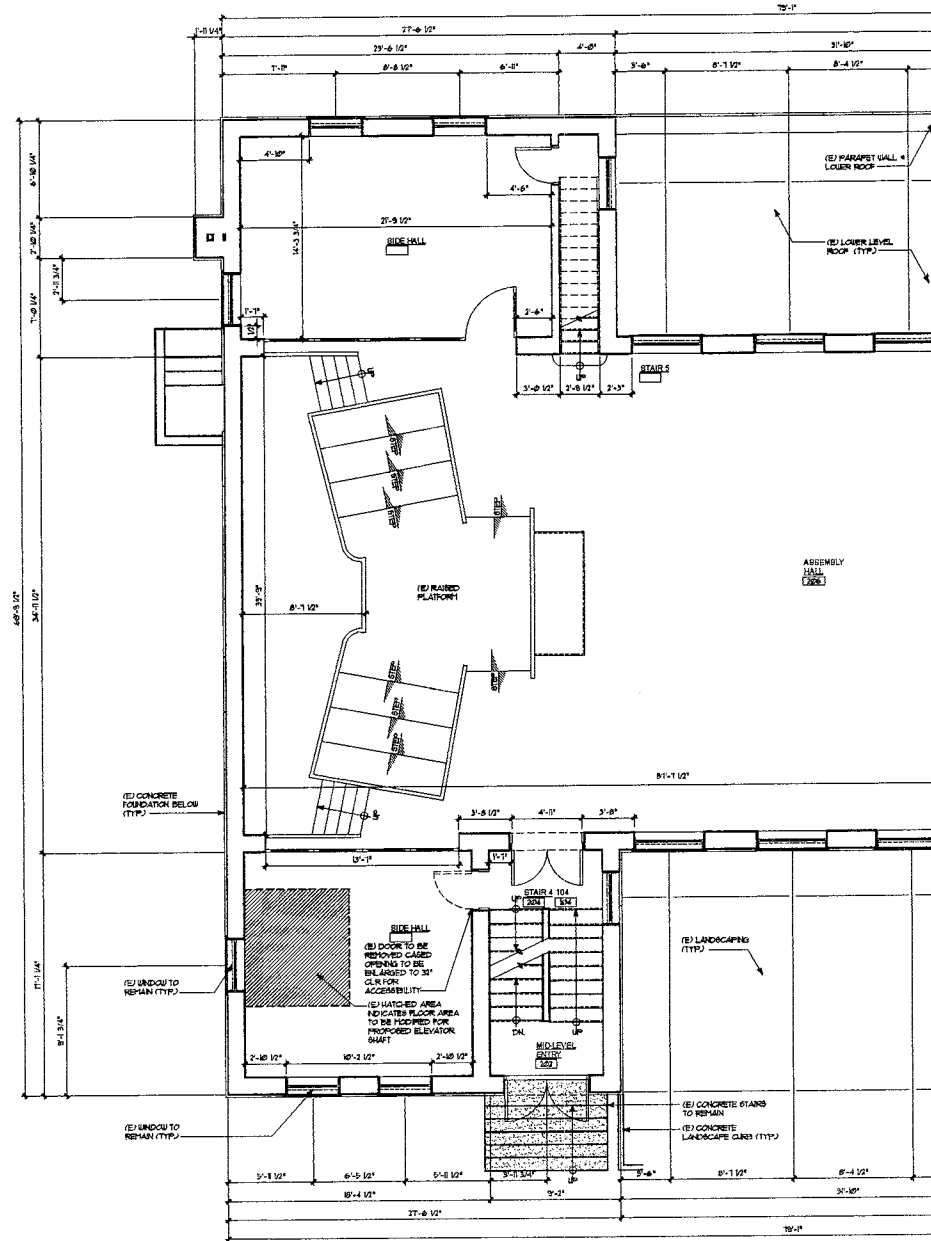
Project No.	21-001
Client	50 LINCOLN HWY ALLIANCE
Project Name	50 LINCOLN HWY ALLIANCE
Location	ELY, NEVADA
Scale	AS SHOWN
Date	3/27/2023

PLAN APPROVAL

Lower Level
 Exist./Demo.
 Floor
 Plan

A-I.2

3/22/2023 11:03:58 AM, C:\p101_201 Mercedes de la Cruz AIA, AIA registration of services.



Main Level Existing/Demolition Floor Plan



A-I.3

GENERAL NOTES:

- EXISTING FLOOR PLAN INFORMATION TAKEN FROM DRAWINGS PREPARED BY OWNER.
- ARCHITECT'S REVIEW AND APPROVAL OF RECORD DRAWINGS FOR THE LINCOLN HWY/ ALLIANCE DOES NOT IMPLY ANY FIELD OBSERVATION OR REPRESENTATION AS TO THE ACCURACY, EVALUATION OR COMPLETENESS OF CONCEALED WORK OR ANY OTHER WORK NOT INCLUDED IN THE OWNER/ARCHITECT AGREEMENT.
- ALL TRADES FOR THIS PROJECT TO COMPLY WITH THE SECRETARY OF INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.

SHEET NOTES

COLLECTIVE
 Mercedes de la Cruz AIA
 architect studio

Centennial
 Fine Arts
 Accessibility
 Improvements

910 Lincoln Hwy
 Ely, Nevada 89315
 White Pine County
 0019906



Mercedes de la Cruz AIA
 Licensed Professional Architect
 No. 470
 State of Nevada

Drawn by	Checked by
Project/Title/Date	08/20/21
Scale	AS SHOWN
Sheet No.	1 of 1

PLAN APPROVAL

Main Level
 Exist/Demo
 Floor
 Plan

GENERAL SHEET NOTES

- EXISTING FLOOR PLAN INFORMATION TAKEN FROM DRAWINGS PREPARED BY OWNER
- ARCHITECTURAL REVIEW AND APPROVAL OF RECORD DRAWINGS FOR THE LOCALITY. ALL OTHER ELDISES NOT APPLY. ANY FIELD OBSERVATION OR REPRESENTATION AS TO THE ADEQUACY, EVALUATION OR COMPLETION OF CONCEALED WORK OR ANY OTHER WORK NOT INCLUDED IN THE OWNER/ARCHITECT AGREEMENT.
- ALL TRADES FOR THIS PROJECT TO COMPLY WITH THE SECRETARY OF INTERIORS GUIDELINES FOR THE TREATMENT OF HISTORIC PROPERTIES.

SHEET NOTES

Mercedes de la Cruz AIA
architect studio

**Centennial
Fine Arts
Accessibility
Improvements**

910 Lincoln Hwy
Ely, Nevada 89315
White Pine County
0019906



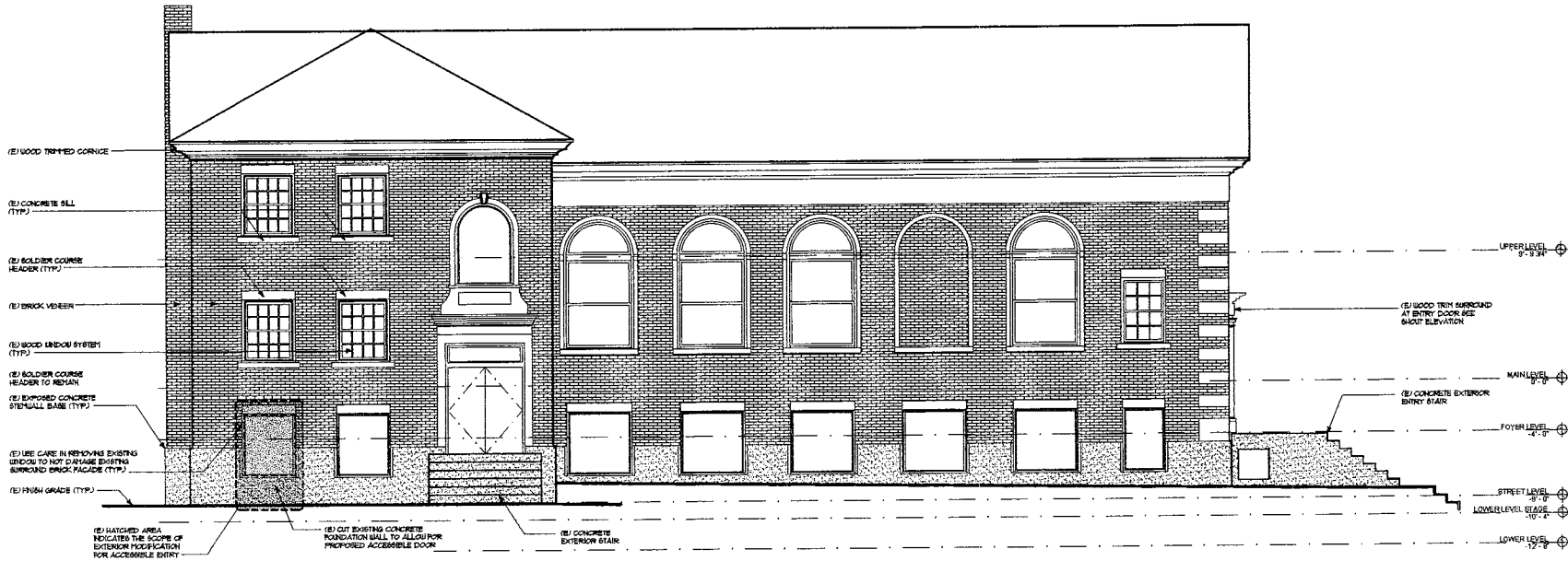
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Rev	By	Check	Date

PLAN APPROVAL

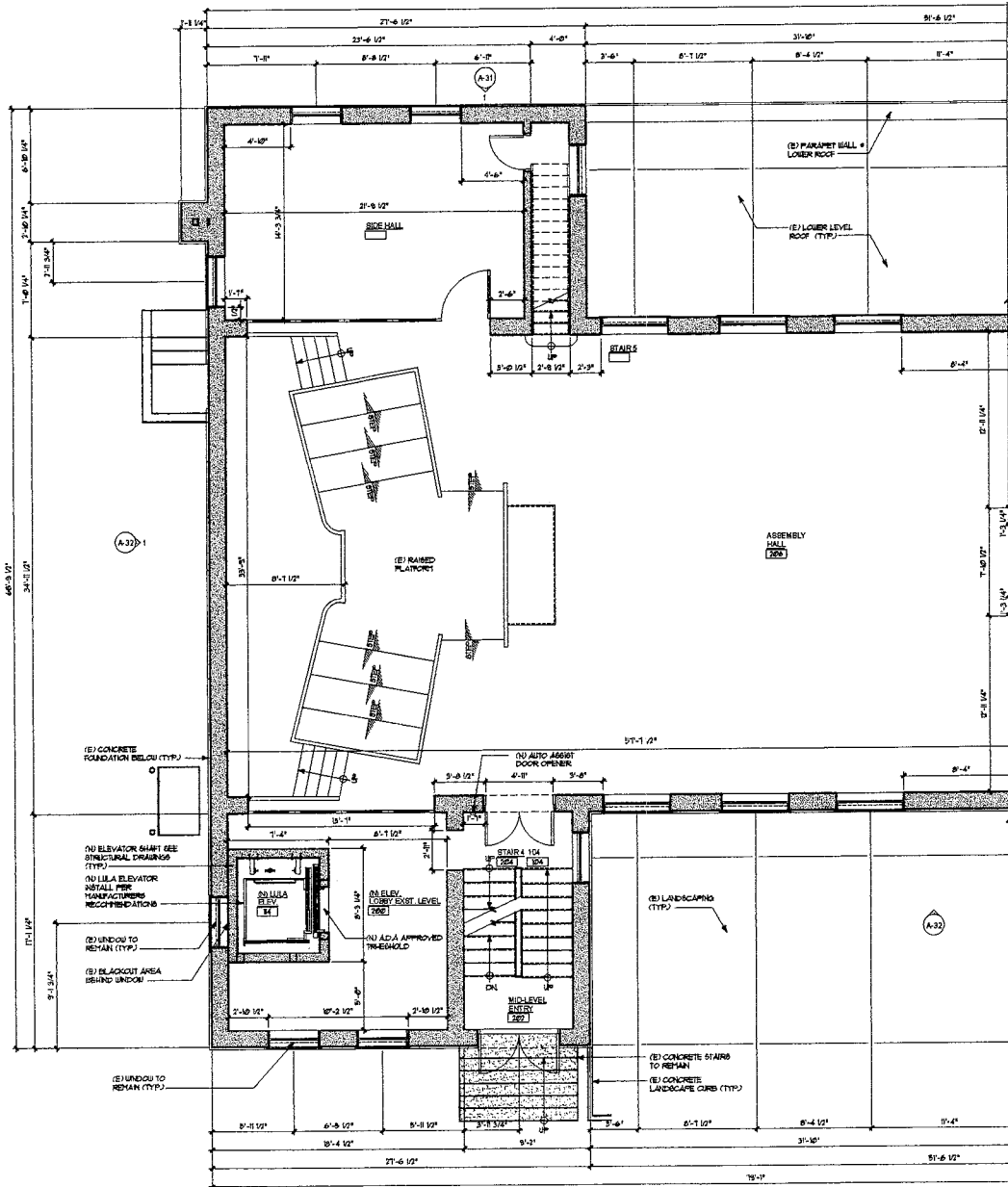
Existing
Building
Elevation

A-I.4



Existing West Elevation





GENERAL NOTES:

1. ALL TRADERS FOR THIS PROJECT TO COMPLY WITH THE REQUIREMENT OF INTERIOR STANDARDS FOR THE TREATMENT OF HISTORIC BUILDINGS.
2. CONTRACTOR SHALL FILE ANY NECESSARY CERTIFICATES OF PERFORMANCE WITH THE LOCAL DEPARTMENT OF BUILDINGS. PAY ALL FEES, OBTAIN ALL PERMITS, AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.
3. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL TEMPORARY SIGNAGING AND GUARDS AS REQUIRED BY LOCAL BUILDING RULES AND REGULATIONS. BARRICADES SHALL BE AS FOR BUILDING STANDARDS.
4. CONTRACTOR SHALL SITE-VISIT ALL EXISTING CONDITIONS PRIOR TO THE START OF WORK AND REPORT TO THE ARCHITECT ANY DISCREPANCIES WITH THE DRAWINGS PROVIDED.
5. CONTRACTOR TO PROVIDE ADEQUATE STRUCTURAL SUPPORT FOR NEW LEVELS AS REQUIRED FOR NEW AND EXISTING CONDITIONS. PROVIDE TEMPORARY BRACING WHERE REQUIRED.
6. ALL FIRE SAFETY EQUIPMENT AND ASSOCIATED CONDUIT AND WIRING SHALL BE PROTECTED FROM ANY PHYSICAL DAMAGE DURING DEMOLITION AND / OR CONSTRUCTION.
7. ALL EXISTING SURFACES AND EQUIPMENT SHALL BE FULLY PROTECTED FROM DAMAGE THROUGHOUT THE CONSTRUCTION PHASE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING SURFACES AND EQUIPMENT DURING CONSTRUCTION AND SHALL MAKE ADDITIONAL REPAIRS WITHOUT ADDITIONAL COSTS TO THE OWNER.
8. REFER TO SHEET A-0 FOR GENERAL NOTES, SYMBOLS, ABBREVIATIONS AND LEGENDS.
9. DIMENSIONS ARE TO FACE OF MAJORITY, FACE OF STUD WALLS, CENTERLINE OF COLUMN AND CENTER OF PICTURE UNLESS OTHERWISE NOTED.
10. STAIR ENCLOSURES SHALL NOT BE USED AS VERTICAL SHARPS FOR MECHANICAL DISTRIBUTION OF PIPING, CONDUIT, WIRING, ETC.
11. PENETRATIONS OF ALL FIRE RATED AND SMOKE TIGHT WALLS AND FLOOR ASSEMBLIES SHALL BE FIRE STOPPED AND THOSE SMOKE TIGHT WITH APPROVED THROUGH WALL PENETRATION ONE-STOP SYSTEMS.
12. MASONRY WALL CONSTRUCTION THAT IS NOTED TO BE SMOKE RESISTANT SHALL HAVE THE ENTIRE PERIMETER AND ALL PENETRATIONS SEALED WITH A ULL APPROVED SMOKE STOP RELAY.
13. REFER TO ARCHITECTURAL DETAIL SHEETS FOR HANDRAIL AND GUARDRAIL DETAILS.
14. CONTRACTOR IS RESPONSIBLE TO VERIFY IN FIELD AND COORDINATE NEW WALL THICKNESSES TO MATCH ADJACENT EXISTING WALLS.
15. CONTRACTOR IS RESPONSIBLE TO VERIFY IN FIELD AND COORDINATE PLACEMENT OF BLOCKING AS REQUIRED BY ALL FIXTURES, FITTINGS, CASING, ETC.
16. SEE NEW MECHANICAL DRAWINGS FOR ANY MODIFICATIONS TO EXISTING MECHANICAL SYSTEMS.
17. ALL ADJACENT FLOOR SURFACE THAT WERE DAMAGED DURING INSTALLATION OF ELEVATOR EQUIPMENT SHALL BE REPAIRED/PATCHED/REFINISHED TO ORIGINAL CONDITION.
18. ULLA ELEVATOR FROM ALL ELEVATORS 4 LIFTS TO BE 3-STOP 500 CPM CAP CONFIGURATION WITH 2 MAXIMUM CAPACITY. CONTACT ALL ELEVATORS 4 LIFTS 888-444-4444 (7/20) info@ullaelevator.com (800) 551-7501

SHEET NOTES:

CONSTRUCTION

Mercedes de la Cruz AIA
ARCHITECT STUDIO

Centennial Fine Arts Accessibility Improvements

910 Lincoln Hwy
Ely, Nevada 89315
Wash Fine County
0019906

ESTATE OF MERCEDES DE LA CRUZ
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STATE OF NEVADA

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DATE	REVISION	BY	CHKD BY

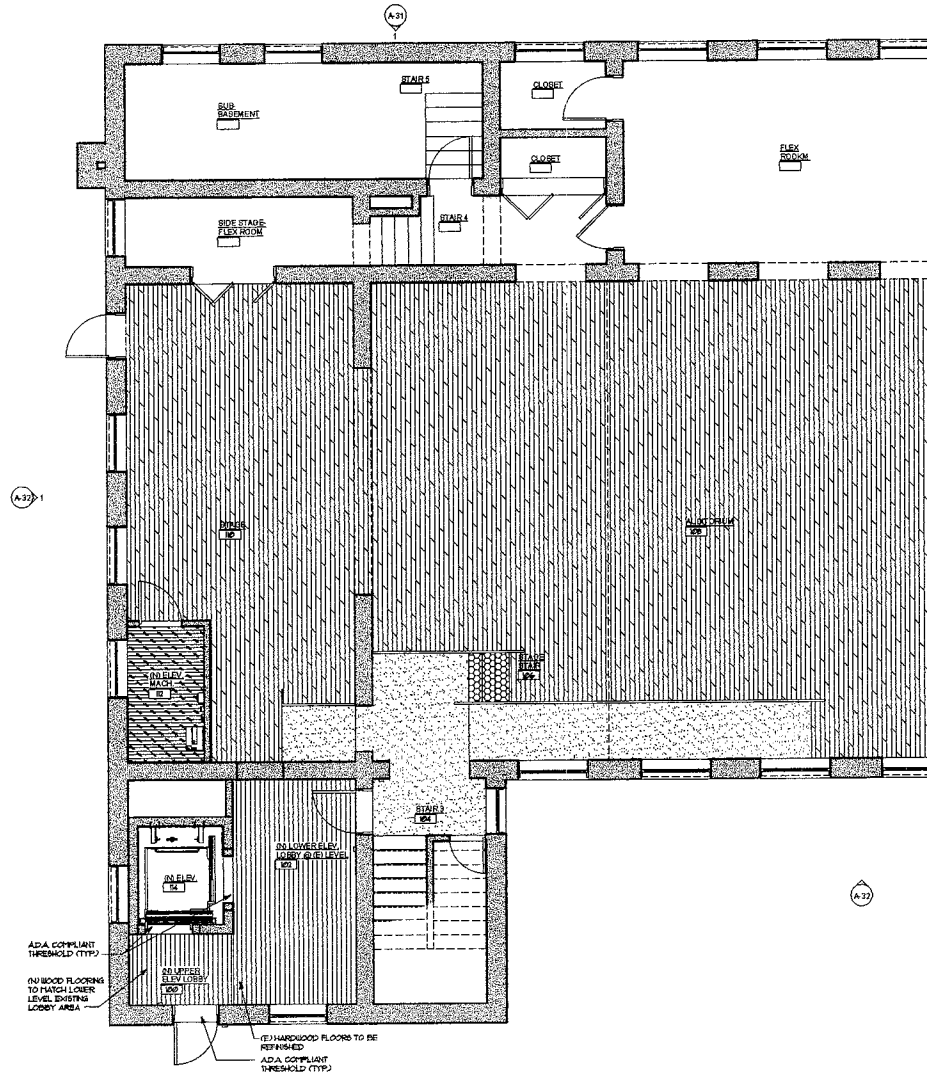
PLAN APPROVAL

Proposed Main Level Floor Plan



Main Level
Proposed
Floor
Plan
A-2.2

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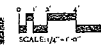
GENERAL NOTES:

1. ALL TRACERS FOR THIS PROJECT TO COMPLY WITH THE SECRETARY OF INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC BUILDINGS.
2. THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY REGARDING ANY DEVIATION FROM THE CONSTRUCTION DOCUMENTS OR SPECIFICATIONS.
3. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY CHANGES, OMISSIONS, ERRORS OR OMISSIONS BY THE OWNER OR CONTRACTOR, EITHER ACCIDENTAL OR INTENTIONAL.
4. FLOOR FINISH DRAWING IS REPRESENTATIVE OF MATERIAL LOCATIONS ONLY. DRAWING DOES NOT INDICATE APPROVED FINISH PATTERN OR INSTALLATION DETAILS FOR DIRECTION OF MATERIAL. COMPLY PATTERN AND DIRECTION OF MATERIAL DETAILS BY ARCHITECT PRIOR TO FINAL INSTALLATION OF ALL FINISH MATERIALS.
5. ALL THRESHOLDS TO BE ADA COMPLIANT.
6. SEE SHEETS A-31 & A-32 FOR ADDITIONAL PROPOSED PLAN INFORMATION.
7. EXISTING FLOORING TO BE PROTECTED AGAINST DAMAGE DURING INSTALLATION OF ELEVATOR #1 EQUIPMENT.
8. ALL ADJACENT FLOOR SURFACE THAT WERE DAMAGED DURING INSTALLATION OF ELEVATOR #1 EQUIPMENT SHALL BE REHABILITATED/PATCHED/REHABILITATED TO ORIGINAL CONDITION.

FLOOR FINISH LEGEND:

	EXISTING HARDWOOD FLOORING
	EXISTING TO BE REFINISHED AFTER INSTALLATION OF ELEVATOR #1 EQUIPMENT
	SHAULOOKS CARPET TILE WITH VAN AUTHENTIC WEAVING COLORS SGA RESULTING TO BE APPROVED BY OWNER & ARCHITECT
	JOHNSONITE RUBBER BRICK TREADS COLOR: BERT (M4) OR EQUAL APPROVED BY OWNER & ARCHITECT
	SHAULOOKS VINYL SHEET FLOORING BARRISTERA STYLE NUMBER: DORY COLOR: PISTON GENÈRALE DORSO ON EQUAL APPROVED BY OWNER & ARCHITECT

Proposed lower Level Floor Finish Plan



SHEET NOTES

Mercedes de la Cruz AIA
architect studio

Centennial
Fine Arts
Accessibility
Improvements

910 Lincoln Hwy
Ely, Nevada 89315
White Pine County
0019906



Mercedes de la Cruz AIA
Architectural & Interior Design
1000 Ely Ave., Suite 100
Ely, NV 89301
707.444.1111
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Sheet	Count
A-21	08/23/21
A-22	08/23/21
A-23	08/23/21
A-24	08/23/21
A-25	08/23/21
A-26	08/23/21
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A-50	08/23/21

PLAN APPROVAL

Lower Level
Proposed
Floor Finish
Plan

A-2.3

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GENERAL SHEET NOTES

- EXISTING FLOOR PLAN INFORMATION TAKEN FROM DRAWINGS PREPARED BY OTHER.
- ARCHITECTURE'S REVIEW AND APPROVAL OF RECORD DRAWINGS FOR THE LINCOLN HWY. AIR PLAN SET DOES NOT IMPLY ANY FIELD OBSERVATION OR REPRESENTATION AS TO THE ADEQUACY, EVALUATION OR COMPLETENESS OF CONCEALED WORK OR ANY OTHER WORK NOT INCLUDED IN THE OWNER/ARCHITECT AGREEMENT.
- ALL TRADES FOR THIS PROJECT TO COMPLY WITH THE SECRETARY OF INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC BUILDINGS.

SHEET NOTES

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 architect studio

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 00159906



Mercedes de la Cruz AIA

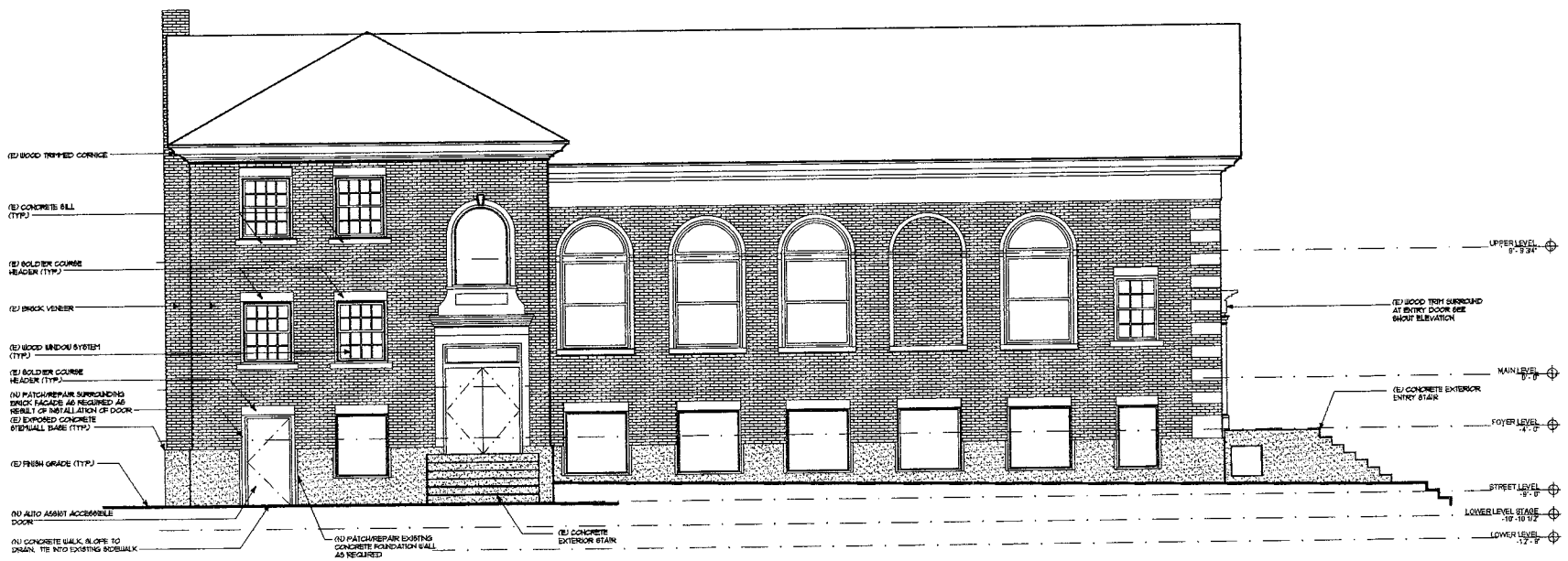
These drawings and specifications are based on information furnished to the Architect by the Owner. The Architect is not responsible for the accuracy or completeness of the information furnished to the Architect. The Architect is not responsible for the accuracy or completeness of the information furnished to the Architect.

Revised	Checked by

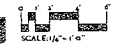
PLAN APPROVAL

Proposed Building Elevation

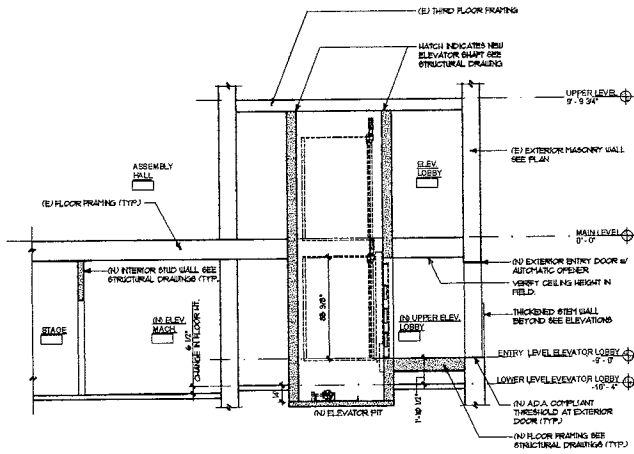
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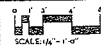
Proposed West Elevation



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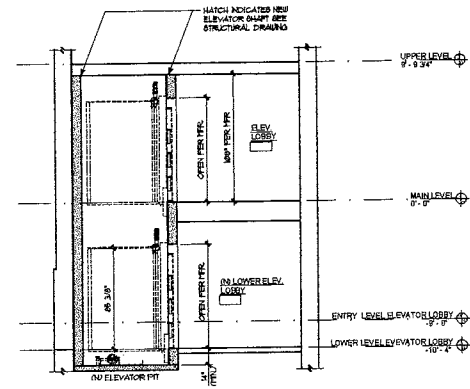


Proposed Partial Building Sections

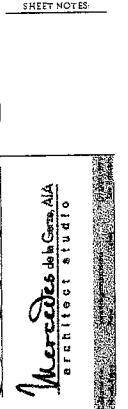


GENERAL SHEET NOTES

1. EXISTING FLOOR PLAN INFORMATION TAKEN FROM DRAWINGS PREPARED BY OTHER.
2. ARCHITECT'S REVIEW AND APPROVAL OF RECORD DRAWINGS FOR THE LICENSEE'S PART ONLY. ALL PARTS DO NOT MEET ANY FIELD OBSERVATION OR REPRESENTATION AS TO THE ACCURACY, EVALUATION OR COMPLETION OF CONCEALED WORK OR ANY OTHER WORK NOT INCLUDED IN THE ARCHITECT'S AGREEMENT.
3. ALL TRADES FOR THIS PROJECT TO COMPLY WITH THE SECRETARY OF INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC BUILDINGS.



Proposed Partial Building Sections



Centennial Fine Arts Accessibility Improvements

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White Pine County
0019906

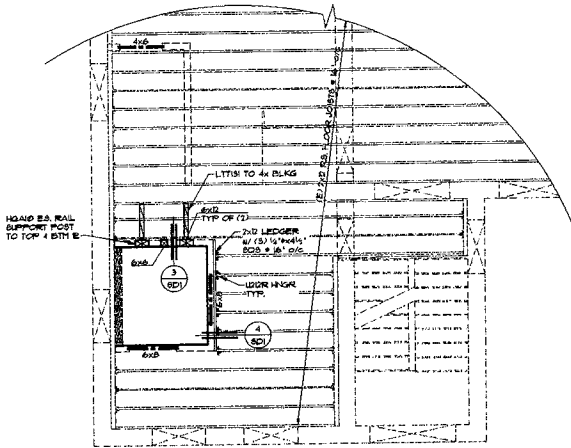


Mercedes de la Cruz, AIA
Architect

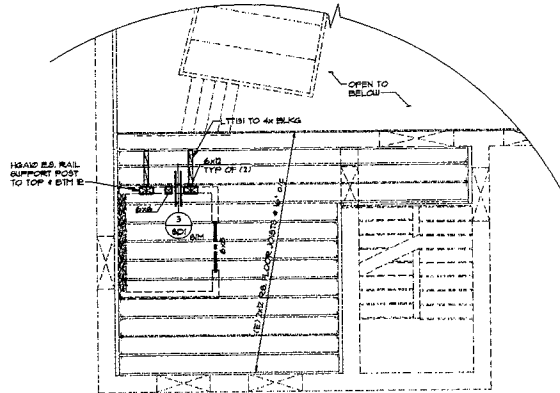
Drawn by	Checked by
Designed by	CEJA/AJ
Reviewed by	GD
Scale	AS NOTED
Date	8/20/23
PLAN APPROVAL:	

Proposed Building Sections

A-4.I



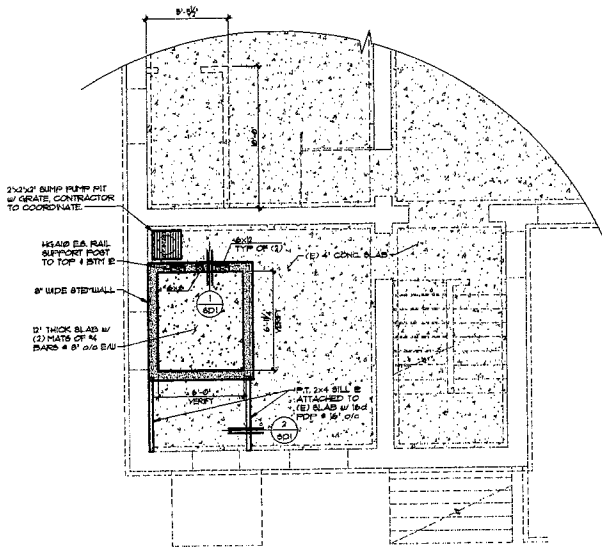
MAIN LEVEL PLAN (0'-0")
SCALE 1/4" = 1'-0"



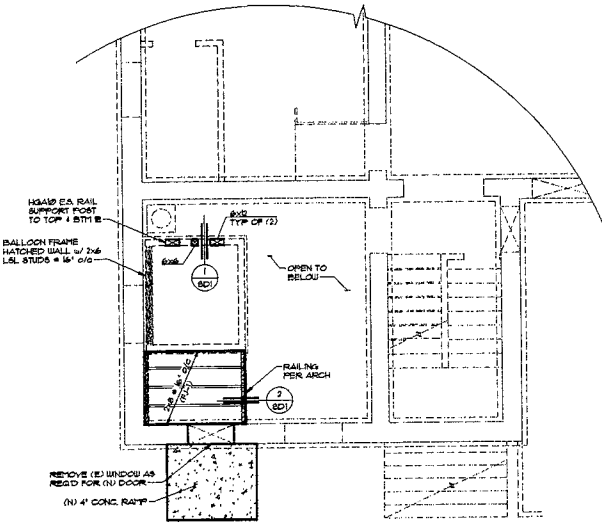
UPPER LEVEL PLAN (9'-9.75")
SCALE 1/4" = 1'-0"

THIS PROJECT IS AN ADDITION / REMODEL OF AN EXISTING STRUCTURE. THE STRUCTURAL DESIGN FOR THIS PROJECT HAS BEEN BASED ON THE BEST AVAILABLE INFORMATION RELATIVE TO THE AS-BUILT FRAMING & CONDITIONS & THE TIME OF ORIGINAL CONSTRUCTION. ALL ANTICIPATED EXISTING INFORMATION SHALL BE VERIFIED BY THE BUILDER & THE TIME OF INITIAL DEMOLITION. ALL PARTIES SHOULD ANTICIPATE THE POTENTIAL NEED FOR MODIFICATIONS TO THE INITIAL DESIGN IN ORDER TO ACCOMMODATE ACTUAL FIELD CONDITIONS. ALL DISCREPANCIES DISCOVERED IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER & DESIGNER IMMEDIATELY.

BUILDING DIMENSIONS SHOWN ARE FOR GENERAL REFERENCE ONLY. SEE THE ARCHITECTURAL DRAWINGS (SAD) FOR ACTUAL BUILDING DIMENSIONS. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER & ARCHITECT SO CLARIFICATION CAN BE MADE. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.



LOWER LEVEL PLAN (-10'-4")
SCALE 1/4" = 1'-0"



ENTRY LEVEL PLAN (-9'-0")
SCALE 1/4" = 1'-0"

ENGINEERING
860 Maestro Dr., Ste. A
Reno, NV 89611
P: (775) 398-0505
F: (775) 338-0365
www.K2eng.net

Centennial Fine Arts Elevator Addition
Eliz., NV 89501
900 E. Ashman St.
A.P.N.: 002-058-01

Jared A. Krupa, P.E.



03/14/2022

Revisions

No.	Description	Date

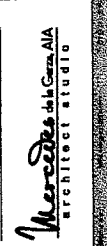
Date: 3/14/22
Drawn: AH
Checked: CN/BK
Project No.: 81-072

Foundation & Floor Framing Plans

S-1

SECTION 260000 ELECTRICAL SPECIFICATIONS

ITEM	DESCRIPTION	ITEM	DESCRIPTION	ITEM	DESCRIPTION				
11	<p>11 PART 1 - GENERAL</p> <p>SECTION INCLUDES:</p> <p>THE WORK UNDER THIS DIVISION SHALL COVER ALL LABOR MATERIALS EQUIPMENT AND SUPPLIES FOR THE INSTALLATION OF ALL ELECTRICAL SYSTEMS AND ALL WORK AS SHOWN ON THE DRAWINGS AND IN THE SPECIFICATIONS CONTRACT DOCUMENTS.</p> <p>PROVIDE EQUIPMENT AND SUPPLIES NORMALLY SUPPLIED OR REQUIRED FOR COMPLETE ELECTRICAL SYSTEMS AS SPECIFIED ON THE DRAWINGS AND IN ALL THE SPECIFICATIONS AS INDICATED BY BOTH.</p> <p>ALL WORK SHALL BE DONE UNDER THE SUPERVISION OF THE ARCHITECT OR HIS DESIGNATED REPRESENTATIVE.</p>	12	<p>12 PART 2 - PRODUCTS</p> <p>MATERIALS:</p> <p>ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE SPECIFIED.</p> <p>ALL MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE NATIONAL AND INTERNATIONAL STANDARDS AND SHALL BE APPROVED BY THE ARCHITECT.</p> <p>ALL MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE NATIONAL AND INTERNATIONAL STANDARDS AND SHALL BE APPROVED BY THE ARCHITECT.</p>	13	<p>13 PART 3 - EXECUTION</p> <p>INSTALLATION:</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING WORK AND FOR THE PROTECTION OF ALL EXISTING UTILITIES.</p> <p>ALL WORK SHALL BE DONE UNDER THE SUPERVISION OF THE ARCHITECT OR HIS DESIGNATED REPRESENTATIVE.</p>	14	<p>14 PART 4 - FINISHES</p> <p>FINISHES:</p> <p>ALL FINISHES SHALL BE IN ACCORDANCE WITH THE ARCHITECT'S REQUIREMENTS AND THE MANUFACTURER'S RECOMMENDATIONS.</p> <p>ALL FINISHES SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE NATIONAL AND INTERNATIONAL STANDARDS AND SHALL BE APPROVED BY THE ARCHITECT.</p>	15	<p>15 PART 5 - ACCESSORIES</p> <p>ACCESSORIES:</p> <p>ALL ACCESSORIES SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE NATIONAL AND INTERNATIONAL STANDARDS AND SHALL BE APPROVED BY THE ARCHITECT.</p> <p>ALL ACCESSORIES SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE NATIONAL AND INTERNATIONAL STANDARDS AND SHALL BE APPROVED BY THE ARCHITECT.</p>



Centennia Fine Arts
Accessibility Improvements

910 Lincoln Hwy
Ely, Nevada 89315

White Pine County
04019906



Project No.	CD
Sheet No.	01
Revision No.	
Revision Description	

Electrical Specifications

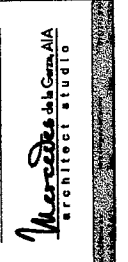
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SHEET	DESCRIPTION	
D-01	LEGEND & DRAWING SCHEDULE	1
D-02	ELECTRICAL SPECIFICATIONS	2
D-03	TYPIFIC SCHEDULE & ISOC CALCUL	3
D-04	ONLINE DIAGRAM & PANEL SCHEDULES	4
D-05	ELECTRICAL DEMONSTRATION PLANS	5
D-06	ELECTRICAL FLOOR PLANS	6
TOTAL SHEETS IN ISOC		

ELECTRICAL LEGEND	
<p> PANELBOARD, SURFACE MOUNTED PANELBOARD, FLUSH MOUNTED DISTRIBUTION OR DISTRIBUTION PANEL TRANSFORMER PULLBOX / VAULT MOTOR STARTER COMBINATION MOTOR STARTER COMBINATION MOTOR STARTER PROVIDED BY OTHERS DISCONNECT SWITCH - FUSIBLE (PLUED PER EXMP. NAMEPLATE) DISCONNECT SWITCH - NON-FUSIBLE DISCONNECT SWITCH PROVIDED BY OTHERS VARIABLE FREQUENCY DRIVE VARIABLE FREQUENCY DRIVE PROVIDED BY OTHERS INCLUSIVE CIRCUIT BREAKER SHUNT TRIP STATION OR EMERGENCY ILLUMINATION REMOTE METER </p>	<p> SINGLE RECEPTACLE, 20A, 120V, NEMA 1-20, 15' AFF (IND) DUPLEX RECEPTACLE, 20A, 120V, NEMA 1-20, 15' AFF (IND) DUPLEX RECEPTACLE, HALF SWITCHED DUPLEX RECEPTACLE, FLOOR MOUNTED QUAD RECEPTACLE, 20A, 120V, NEMA 1-20, 15' AFF (IND) QUAD RECEPTACLE, FLOOR MOUNTED ISOLATED GROUND TYPE RECEPTACLE (BRANGE TRANCELS - 20A, 120V, NEMA 1-20, 15' AFF (IND) DUPLEX RECEPTACLE 8FT TYPE - 20A, 120V, NEMA 1-20 8FT 15' AFF (IND) DUPLEX RECEPTACLE, ABOVE COUNTER (VERIFY HEIGHT) SPECIAL PURPOSE RECEPT. SEE DIMS FOR NEMA CONFIG. DUPLEX RECEPTACLE, CEILING MOUNTED MULTI-OUTLET ASSEMBLY, SPACINGS PER DIMS BLANK 8FT PROTECTIVE DEVICE IN READILY ACCESSIBLE LOCATION (LABEL PROTECTED DEVICE) DATA / VOICE OUTLET, 15' AFF (IND) - 1 VOICE, 1 DATA JACK, 2 BELLERS DATA / VOICE OUTLET, FLOOR MOUNTED DATA / VOICE OUTLET, ABOVE COUNTER (VERIFY HEIGHT) MULTI-OUTLET ASSEMBLY, SPACINGS PER DIMS TELEPHONE OUTLET, 15' AFF (IND) SPEAKER TELEVISION OUTLET, 15' AFF (IND) TELEPHONE TERMINAL BOARD (TTB) GROUNDING BAR LIGHTING FIXTURE - LOW-VOLTAGE LETTER DENOTES SWITCHED (S) = CENTER LAMP, (C) = OUTER LAMP HALL MOUNTED FIXTURE RECESSED DOWNLIGHT SURFACE LUMINAIRE POLE MOUNTED LUMIN (P OF HEADS INDICATED ON DRAWING) FLUORESCENT STRIP FIXTURE BOLLARD RECESSED DOWNLIGHT (WALL MOUNT) TRACK LIGHTING EMERGENCY LIGHTING UNIT EXIT SIGN FIXTURE - SHADED AREA DENOTES LIMITED FACE - ARROWS INDICATE DIRECTION EMERGENCY FIXTURE THERMOSTAT (PROVIDED BY MECH. CONTRACTOR UNO) JUNCTION BOX (SIZE AS REQUIRED UNO) SHEET NOTE DESIGNATION FUTURE DESIGNATION, (F) TYPE (SEE FUTURE SCH) REVISION (DELTA NUMBER REPRESENTS REVISION) FEEDER DESIGNATION EQUIPMENT CONNECTION </p>
<p> SINGLE POLE SWITCH 48" AFF (IND) THREE WAY SWITCH 48" AFF (IND) FOUR WAY SWITCH 48" AFF (IND) KEY OPERATED SWITCH 48" AFF (IND) SWITCH WITH LATCHED HANDLE MANUAL MOTOR STARTER SWITCH WITH PILOT LIGHT 48" AFF (IND) TWO HALL SWITCH 48" AFF (IND) DIMMER OPERATED SWITCH 48" AFF (IND) OCCUPANCY SENSOR - WALL MOUNTED 48" AFF (IND) OCCUPANCY SENSOR - CEILING MOUNTED PATTERN INDICATES COVERABLE DIRECTION & PATTERN PROVIDES WITH POWER PAGE PER HPD REQUIREMENTS. CONTROL STATION CONTRACTOR OR RELAY PHOTOCOUPLING CELL (ON ROOF FACING NORTH UNO) THERMOSTAT CONDUIT RACEWAY IN HALL OR ABOVE CEILING CONDUIT RACEWAY BELOW GRADE OR BELOW FLOOR CONDUIT RACEWAY IN PIPE CONDUIT RACEWAY DOWN BREAK OR RUN CONTINUES OVERHEAD SERVICE PRIMARY SECONDARY COMMUNICATIONS OR SIGNAL TELEPHONE TELEVISION 120V VOLTAGE AND/OR CONTROL WIRES EMERGENCY CIRCUIT CONDUIT RACEWAY STUB OUT MARK AND CAP ENDED CONDUIT RACEWAY SLEEVE </p>	<p> GROUND FAULT INTERRUPTER DEVICE METERING DEVICE REMOTE METER SHUNT TRIP DEVICE TRANSFORMER CURRENT TRANSFORMER GENERATOR MOTOR - # INDICATES HP REVERSER SWITCH GROUND FAULT RELAY IN CT OR SENSOR CIRCUIT FUSE CIRCUIT BREAKER DRAWER CIRCUIT BREAKER TRANSFER SWITCH (A-AUTOMATIC, M-MANUAL) # FOR POLES 2, 3 OR 4 SURGE PROTECTION DEVICE NORMALLY OPEN (NO) CONTACT NORMALLY CLOSED (NC) CONTACT COOL - VOLTAGE PER CONTROL DIAGRAMS PILOT LIGHT (LED) PUSH-TO-TEST, LETTER INDICATES COLOR (R-RED, G-GREEN, A-AMBER, Y-YELLOW) PILOT LIGHT (LED) NON PUSH-TO-TEST THERMAL OVERLOAD MAGNETIC OVERLOAD PUSH BUTTON NORMALLY OPEN (NO) PUSH BUTTON NORMALLY CLOSED (NC) HAND-OFF-AUTO (HSA) SELECTOR SWITCH LIGHT SWITCH NORMALLY OPEN (NO) LIGHT SWITCH NORMALLY CLOSED (NC) PUSH BUTTON ILLUMINATED (LED) TAG = NO. OF WIRING KNOTS IF MORE THAN TWO METERS RACEWAY, GROOVING CONDUCTOR (NOT SWICH) ALWAYS REQUIRED. ISOLATED GROUNDING CONDUCTOR NEUTRAL CONDUCTOR PHASE CONDUCTOR BRANCH CIRCUIT OPEN (SIC WIRING ARE NOT SWICH) (D) PHASE (D) NEUTRAL AND (N) GROUNDING CONDUCTOR NON-HOMER TO PANELBOARD OR DEVICE HOMER IN CIRCUIT DESIGNATION GROUNDING CONDUCTOR (ON L, IN-G NEUTRAL, ON-G NEUTRAL) PHASE CONDUCTOR PANELBOARD DESIGNATION HOMER IN CIRCUIT DESIGNATION (D PHASE CIRCUIT SWICH) GROUNDING CONDUCTOR PHASE CONDUCTOR PANELBOARD DESIGNATION </p>
<p> 20 SINGLE POLE CIRCUIT BREAKER 200 THREE POLE CIRCUIT BREAKER 200 THREE POLE CIRCUIT BREAKER 20A ARC FAULT CIRCUIT BREAKER 200 CONTROLLABLE CIRCUIT BREAKER 200 8FT CIRCUIT BREAKER </p>	<p> L = LIGHTING E = EQUIPMENT M = MOTOR K = KITCHEN EXHAUST H = ELECTRIC HEAT </p>

NOTE: THIS IS A MASTER SYMBOL LIST. IT MAY BE THAT NOT ALL SYMBOLS SHOWN ARE USED WITH THIS SET OF PLANS. HEIGHTS GIVEN ARE TO CENTER LINE OF DEVICE.



Centennial Fine Arts Accessibility Improvements
 910 Lincoln Ht by Ely, Nevada 89315
 White Pine County 0011906



David M. Smith
 State of Nevada License No. 12200
 Mechanical Engineering

Project No.	180
Sheet No.	180/180
Revision	00
Scale	
Date	
By	
Check	
Approved	

PLAN APPROVAL

PK Electrical, Inc.
 Engineering • Design • Consulting

Electrical Legend & Drawing Schedule
 E-O.1

COMcheck Software Version 4.1.4.0
Interior Lighting Compliance Certificate

Project Information
 Project Name: 2018 IECC
 Project Type: Commercial First Aid Accessibility Improvement
 Project Code: 100000

Approved Interior Lighting Power

Area Category	Area (sq ft)	Power Density (W/ft²)	Allowed Power (W)
1. Commercial Type 1 (Retail)	100	2.5	250
2. Commercial Type 2 (Office)	100	2.5	250

Proposed Interior Lighting Power

Fixture ID / Description / Lamp / Voltage / Power / Notes	Area (sq ft)	Power Density (W/ft²)	Allowed Power (W)	Excess Power (W)
1. LED 1.1, 100 Watts, 120V, 1000lm	100	1.1	110	0
2. LED 1.1, 100 Watts, 120V, 1000lm	100	1.1	110	0

Interior Lighting Compliance Statement
 Compliance Statement: The proposed lighting fixture selection is well represented in the document by compliance with the following table. Specific details and other information relative to this project are provided in the project lighting schedule. The proposed lighting system has been designed to meet the 2018 IECC requirements in accordance with the 2018 IECC code requirements with any exceptions noted in the Compliance Statement.

Project Name: 2018 IECC
 Project Type: Commercial First Aid Accessibility Improvement
 Project Code: 100000

LIGHTING FIXTURE SCHEDULE

LIGHTING FIXTURE CATALOG NUMBERS ARE SERIES TYPE ONLY. PROVIDE TYPE, BALLAST, MOUNTING EQUIPMENT, FITTINGS AND LAMPS AS REQUIRED BY THE SPECIFICATIONS AND PROVIDE CONDITIONS FOR A COMPLETE INSTALLATION. THIS IS NOT A TRIMMABLE SCHEDULE AND FIXTURES MUST INCORPORATE ALL WORK INDICATED OR IMPLIED THROUGHOUT THE DRAWINGS AND SPECIFICATIONS.

SUBSTITUTIONS, REVISIONS
 * NO EQUAL = EQUAL OR SUPERIOR TO SPECIFIED IN ALL RESPECTS WILL BE ALLOWED. ENGINEER'S PRE-APPROVAL IS NOT REQUIRED. PROPOSED EQUAL FIXTURES ARE SUBJECT TO REVIEW DURING THE STANDARD SUBMITTAL PROCESS.
 * NO EQUAL = PROVIDE SPECIFIED FIXTURE. SUBSTITUTIONS ARE NOT ALLOWED.
 * SUBJECT TO REVIEW = EQUAL OR SUPERIOR TO SPECIFIED IN ALL RESPECTS MAY BE ALLOWED ONLY WITH ENGINEER'S APPROVAL. ALL SUBSTITUTIONS MUST BE SUBMITTED AS REQUIRED BY SPECIFICATIONS AND ACCOMPANIED WITH POINT BY POINT LIGHTING CALCULATION. DETERMINATION OF EQUAL IS ENGINEER'S SOLE DISCRETION.

TYPE	SYMBOL	DESCRIPTION AND MANUFACTURER
L1	⊕	LAMP: LED VOLTAGE: 120V MANUFACTURER: OSRAM * NO EQUAL = PROVIDE SPECIFIED FIXTURE. SUBSTITUTIONS ARE NOT ALLOWED. * SUBJECT TO REVIEW = EQUAL OR SUPERIOR TO SPECIFIED IN ALL RESPECTS MAY BE ALLOWED ONLY WITH ENGINEER'S APPROVAL. ALL SUBSTITUTIONS MUST BE SUBMITTED AS REQUIRED BY SPECIFICATIONS AND ACCOMPANIED WITH POINT BY POINT LIGHTING CALCULATION. DETERMINATION OF EQUAL IS ENGINEER'S SOLE DISCRETION.
L2	⊕	LAMP: LED VOLTAGE: 120V MANUFACTURER: OSRAM * NO EQUAL = PROVIDE SPECIFIED FIXTURE. SUBSTITUTIONS ARE NOT ALLOWED. * SUBJECT TO REVIEW = EQUAL OR SUPERIOR TO SPECIFIED IN ALL RESPECTS MAY BE ALLOWED ONLY WITH ENGINEER'S APPROVAL. ALL SUBSTITUTIONS MUST BE SUBMITTED AS REQUIRED BY SPECIFICATIONS AND ACCOMPANIED WITH POINT BY POINT LIGHTING CALCULATION. DETERMINATION OF EQUAL IS ENGINEER'S SOLE DISCRETION.
L3	⊕	LAMP: LED VOLTAGE: 120V MANUFACTURER: OSRAM * NO EQUAL = PROVIDE SPECIFIED FIXTURE. SUBSTITUTIONS ARE NOT ALLOWED. * SUBJECT TO REVIEW = EQUAL OR SUPERIOR TO SPECIFIED IN ALL RESPECTS MAY BE ALLOWED ONLY WITH ENGINEER'S APPROVAL. ALL SUBSTITUTIONS MUST BE SUBMITTED AS REQUIRED BY SPECIFICATIONS AND ACCOMPANIED WITH POINT BY POINT LIGHTING CALCULATION. DETERMINATION OF EQUAL IS ENGINEER'S SOLE DISCRETION.
X1	⊕	LAMP: LED VOLTAGE: 120V MANUFACTURER: OSRAM * NO EQUAL = PROVIDE SPECIFIED FIXTURE. SUBSTITUTIONS ARE NOT ALLOWED. * SUBJECT TO REVIEW = EQUAL OR SUPERIOR TO SPECIFIED IN ALL RESPECTS MAY BE ALLOWED ONLY WITH ENGINEER'S APPROVAL. ALL SUBSTITUTIONS MUST BE SUBMITTED AS REQUIRED BY SPECIFICATIONS AND ACCOMPANIED WITH POINT BY POINT LIGHTING CALCULATION. DETERMINATION OF EQUAL IS ENGINEER'S SOLE DISCRETION.

LIGHTING SYSTEM FOOTCANDLES LEVELS ARE BASED ON THE UTILIZATION OF STANCHION REFLECTANCES OF 80%-90 CEILING-WALL-PLANE FOR LED. ILLUMINATED ENGINEERING SOCIETY THE ROOM SURFACES ARE USED AS AN INTERNAL COMPONENT OF THE LIGHTING SYSTEM. THE REFLECTANCE OF THE SURFACE PAINT COLOR, MATERIAL, AND OTHER ROOM SURFACES, DIRECTLY AFFECTS THE DELIVERY OF LIGHT TO THE WORK PLANE. A SIGNIFICANT DROP IN OVERALL LIGHTING LEVELS WILL OCCUR IF REFLECTANCES ARE LOWERED. THE ARCHITECT/OWNER SHALL NOTIFY THE ENGINEER IMMEDIATELY IF FIXTURES DO NOT FALL ALIGNED WITH THE REFLECTANCES MENTIONED ABOVE.

Meredith & Co. AIA
 architect studio

Centennial Fine Arts Accessibility Improvements
 910 Lincoln Hwy
 Ely, Nevada 89315
 White Pine County
 0019906

REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 STATE OF NEVADA
 0019906

02/14/2023

0201 Meredith & Co. AIA

By: [Signature] Date: 02/14/2023
 Checked by: [Signature] Date: 02/14/2023
 Project Name: 2018 IECC
 Project Code: 100000

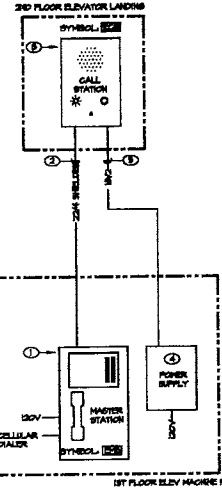
PLAN APPROVAL:

PK Electrical, Inc.
 Engineering • Design • Consulting
 215 West 10th Street, Suite 100, Reno, NV 89501
 775.784.1111

Fixture Schedule & IECC Calculations
 E-0.3

LOAD CALCULATION							AM
LOAD DESCRIPTION	LIGHTING	RECEPT.	SCHEM.	MAINTEN.	HYDRON.	HEAT	TOTAL
0	500	500	150	2000	500	0	3500
(3) 1 REFR. MEATS (3) 1/2 1/2 (1/2 AND RECEPT)	10,000	20,000					30,000
Total Overhead Load							30,500
Largest Demand							4,200
NEC 220.42 Panel	1470	1470	1470	1470	1470	1470	100%
NEC 220.43 Receptacles	10,200	10,200	10,200	10,200	10,200	10,200	100%
Total Demand Load							10,200
NEC Demand							10,200

TYPE DESCRIPTION	LOAD	PANEL	A	B	C	LOCATION	DESCRIPTION	TYPE
1. LIGHTS AND REFR. ELEV	12	1	1	1	1	20	ELEVATOR CAB	L
2. ELEV. PIT LIGHTS	10	2	2	2	2	20	MACHINE ROOM	R
3. REFR.	20	3	3	3	3	20	ELEVATOR COORD. ROOM	C
4. REFR.	20	4	4	4	4	20	DOOR OPERATIONS	M
5. REFR.	20	5	5	5	5	20	EXPANSION AND SECURITY	K
6. REFR.	20	6	6	6	6	20	SPARE	S
7. REFR.	20	7	7	7	7	20	SPARE	S
8. REFR.	20	8	8	8	8	20	SPARE	S
9. REFR.	20	9	9	9	9	20	SPARE	S
10. REFR.	20	10	10	10	10	20	SPARE	S
11. REFR.	20	11	11	11	11	20	SPARE	S
12. REFR.	20	12	12	12	12	20	SPARE	S
13. REFR.	20	13	13	13	13	20	SPARE	S
14. REFR.	20	14	14	14	14	20	SPARE	S
15. REFR.	20	15	15	15	15	20	SPARE	S
16. REFR.	20	16	16	16	16	20	SPARE	S
17. REFR.	20	17	17	17	17	20	SPARE	S
18. REFR.	20	18	18	18	18	20	SPARE	S
19. REFR.	20	19	19	19	19	20	SPARE	S
20. REFR.	20	20	20	20	20	20	SPARE	S
21. REFR.	20	21	21	21	21	20	SPARE	S
22. REFR.	20	22	22	22	22	20	SPARE	S
23. REFR.	20	23	23	23	23	20	SPARE	S
24. REFR.	20	24	24	24	24	20	SPARE	S
25. REFR.	20	25	25	25	25	20	SPARE	S
26. REFR.	20	26	26	26	26	20	SPARE	S
27. REFR.	20	27	27	27	27	20	SPARE	S
28. REFR.	20	28	28	28	28	20	SPARE	S
29. REFR.	20	29	29	29	29	20	SPARE	S
30. REFR.	20	30	30	30	30	20	SPARE	S
31. REFR.	20	31	31	31	31	20	SPARE	S
32. REFR.	20	32	32	32	32	20	SPARE	S
33. REFR.	20	33	33	33	33	20	SPARE	S
34. REFR.	20	34	34	34	34	20	SPARE	S
35. REFR.	20	35	35	35	35	20	SPARE	S
36. REFR.	20	36	36	36	36	20	SPARE	S
37. REFR.	20	37	37	37	37	20	SPARE	S
38. REFR.	20	38	38	38	38	20	SPARE	S
39. REFR.	20	39	39	39	39	20	SPARE	S
40. REFR.	20	40	40	40	40	20	SPARE	S



C ELEVATOR LANDING 2-WAY COMM SYSTEM
E0.4 SCALE: NONE

ELEVATOR LANDING 2-WAY COMM GENERAL NOTES

1. PROVIDE 2-WAY COMMUNICATION SYSTEM BETWEEN THE 2ND FLOOR 1ST AND 2ND FLOOR ELEVATOR LANDING AND ADMIN OFFICE AREA. PROVIDE FLUSH MOUNTED HANDS FREE PUSH BUTTON CALL STATIONS AT THE 2ND FLOOR ELEVATOR LANDING. WHEN A CALL IS INITIATED FROM THE ELEVATOR LOBBY CALL STATIONS, THE CALL SHALL BE PLACED TO THE MASTER STATION LOCATED IN ADMIN OFFICE AREA. IF THE CALL IS NOT ANSWERED AT THE MASTER STATION AFTER A PRESET NUMBER OF RINGS, THE MASTER STATION SHALL REDIRECT THE CALL TO THE MASTER STATION SHALL BE CAPABLE OF PLACING CALLS TO THE ELEVATOR LOBBY CALL STATIONS.

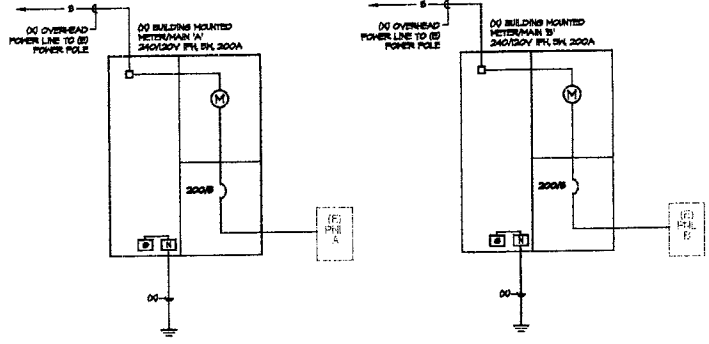
ELEVATOR LANDING 2-WAY COMM SHEET NOTES

1. FLUSH MOUNTED MASTER STATION LOCATED IN ELEVATOR CONTROL ROOM (RATH FPN 2800-G08-09-01). PROVIDE CELLULAR GATEWAY (RATH FPN 2800-L16-0001).
2. 22AWG SHIELDED FLUSH MOUNTED CABLE FROM MASTER STATION TO 2ND FLOOR CALL STATION (RATH FPN 2800-G08-09-01 OR EQUAL).
3. FLUSH MOUNTED HANDS FREE PUSH BUTTON CALL STATION MOUNTED AT 2ND FLOOR ELEVATOR LANDING (RATH FPN 2800-REB-0001). BUTTON OR CALL STATION TO BE MOUNTED BETWEEN 48" AND 60" AFF. INSTALL AREA OF REDUCED CLEARANCE (RATH FPN 2800-ADJ-0001) TO CALL STATION MOUNTED 48" AFF.
4. 120VAC TO 24VDC POWER SUPPLY WITH BATTERY BACKUP (RATH FPN 2800-09-04-01 OR EQUAL).
5. 1/2" FLUSH RATED CABLE FROM POWER SUPPLY TO CALL STATION.

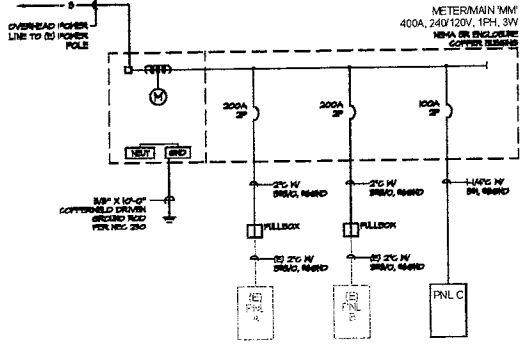
2-WAY COMM SYSTEM LEGEND	
SYMBOL	DESCRIPTION
(E) [Symbol]	EMERGENCY MASTER STATION FLUSH MOUNTED WITH FLUSH CAT & DROP.
(C) [Symbol]	EMERGENCY CALL STATION FLUSH MOUNTED HANDS FREE STAINLESS STEEL CALL STATION LOCATED AT 2ND FLOOR ELEVATOR LANDING.

ONLINE GENERAL NOTES

1. DO NOT DIMENSION LINES INDICATE EXISTING EQUIPMENT TO BE REMOVED. DO NOT DIMENSION LINES INDICATE EXISTING EQUIPMENT TO REMAIN UNLESS NOTED OTHERWISE.
2. PANELBOARD AND BREAKER INTERRUPTING CAPACITIES (AIC) SHALL BE FULLY RATED AS AN ASSEMBLY. SERIES RATING OF BREAKER DEVICES AND EQUIPMENT IS NOT PERMITTED.
3. ALL CONDUCTOR SIZES ARE BASED ON COPPER. ALUMINUM IS NOT PERMITTED.
4. ALL CONTRACTOR PROVIDED EQUIPMENT SHALL COMPLY WITH THE MANUFACTURER'S SPECIFICATIONS AND REQUIREMENTS.
5. DO NOT SPlice FEEDER CONDUCTORS UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER.



A DEMOLITION ON-LINE DIAGRAM
E0.4 SCALE: NONE



B NEW ON-LINE DIAGRAM
E0.4 SCALE: NONE

Merced & Co. AIA
ARCHITECT STUDIO

Centennial Fine Arts Accessibility Improvements

910 Lincoln Hwy
Ely, Nevada 89315
White Pine County
0019906

NEVADA STATE ELECTRICAL BOARD

20/15/2023

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PLAN APPROVAL

PK Electrical, Inc.
Engineering · Design · Consulting

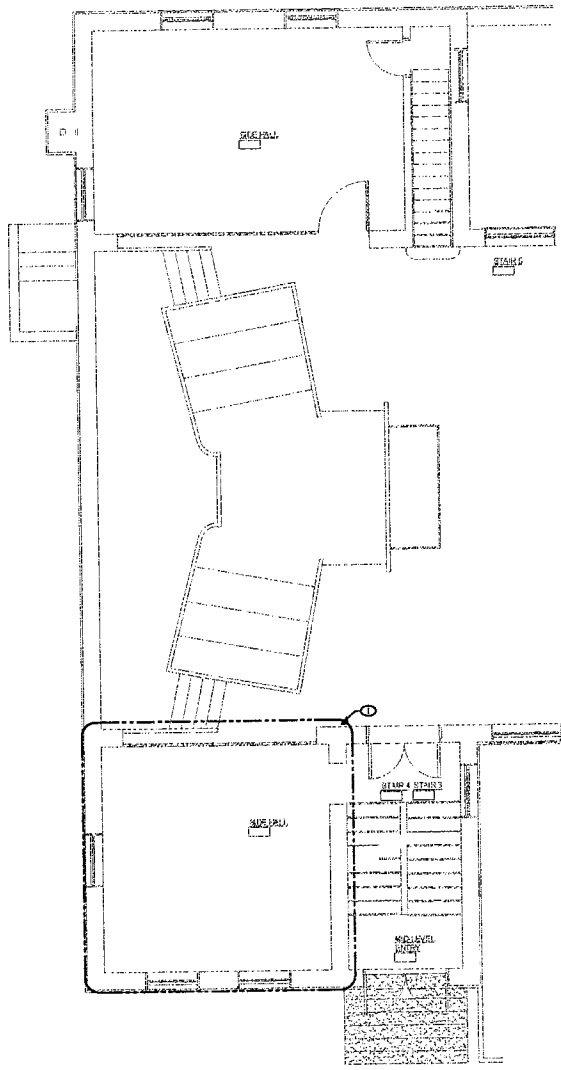
Online Diagram & Panel Schedules
E-0.2

GENERAL NOTES

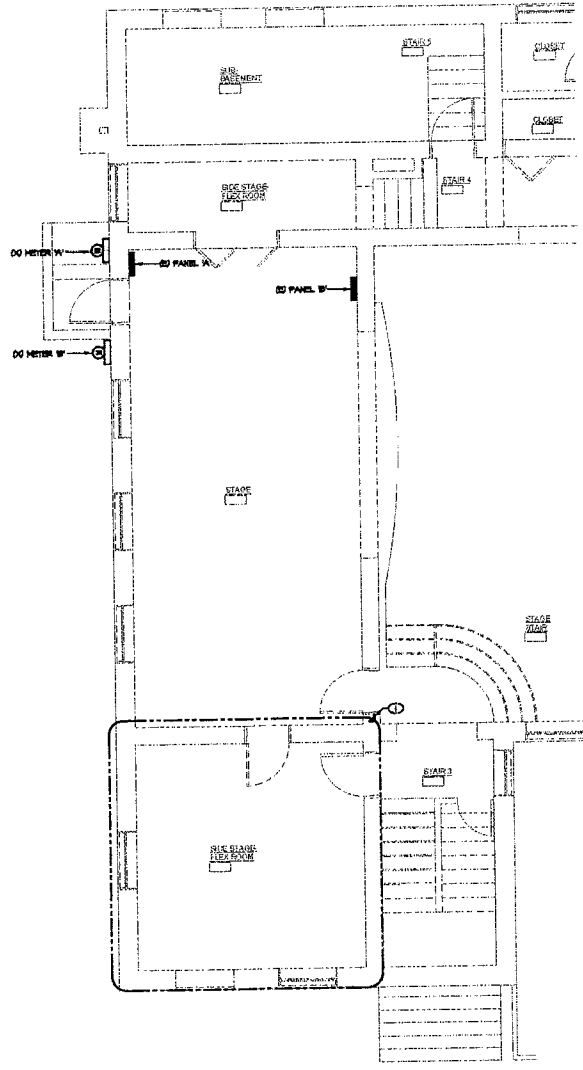
1. DO AND/OR DASHED LINES INDICATE EXISTING EQUIPMENT TO BE REMOVED, BY AND/OR HALFTONE LINES INDICATE EXISTING EQUIPMENT TO REMAIN (UNLESS NOTED OTHERWISE).
2. SALVAGEABLE ITEMS REMOVED DURING DEMOLITION SHALL BE OFFERED TO OWNER PRIOR TO DISPOSAL OR REMOVAL FROM SITE.
3. THE CONTRACTOR SHALL SALVAGE AND REUSE EXISTING BRICKS AND CONDUIT WHERE POSSIBLE. DAMAGED CONDUIT, FITTINGS, BOXES, ETC. MAY NOT BE REUSED, NEW CONDUIT AS INDICATED ON THE DRAWINGS IS BRUSH PILE EXCEPT ONLY AND MAY VARY BASED ON ACTUAL FIELD CONDITIONS. OPEN CONDUITING SHALL MATCH EXISTING WHERE POSSIBLE TO UTILIZE EXISTING NON-FERROUS CONDUIT. STEEL KEEP AS-BUILT DRAWINGS CURRENT WITH ANY DEVIATION IN CONDUITING FROM WHAT IS INDICATED WITHIN THESE PLANS.
4. THE CONTRACTOR SHALL REMOVE FROM THE JOB SITE ALL DISCARDED AND ABANDONED MATERIALS LEFT OVER FROM DEMOLITION AND INSTALLATION. THIS INCLUDES, BUT IS NOT LIMITED TO, CONDUIT, PARTISANS AND BOXES, MATERIALS EXPOSED IN BRICKS AND / OR CONCRETE. MAY BE ABANDONED IN PLACE. ALL ABANDONED CONDUIT SHALL BE CAPPED.

SHEET NOTES

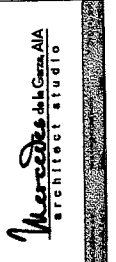
1. ENCLOSED EXISTING LIGHT FIXTURES IN THIS AREA.



B
E1.1
UPPER LEVEL DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



A
E1.1
LOWER LEVEL DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



Centennial
Fine Arts
Accessibility
Improvements

910 Lincoln Hwy
Ely, Nevada 89315
White Pine County
0019906



JEFF E. PUGH
Professional Engineer
State of Nevada
License No. 100001

Project	Client
Centennial Fine Arts	City of Ely
Project No.	100001
Project Name	CD
Scale	
Date	

PLAN APPROVAL

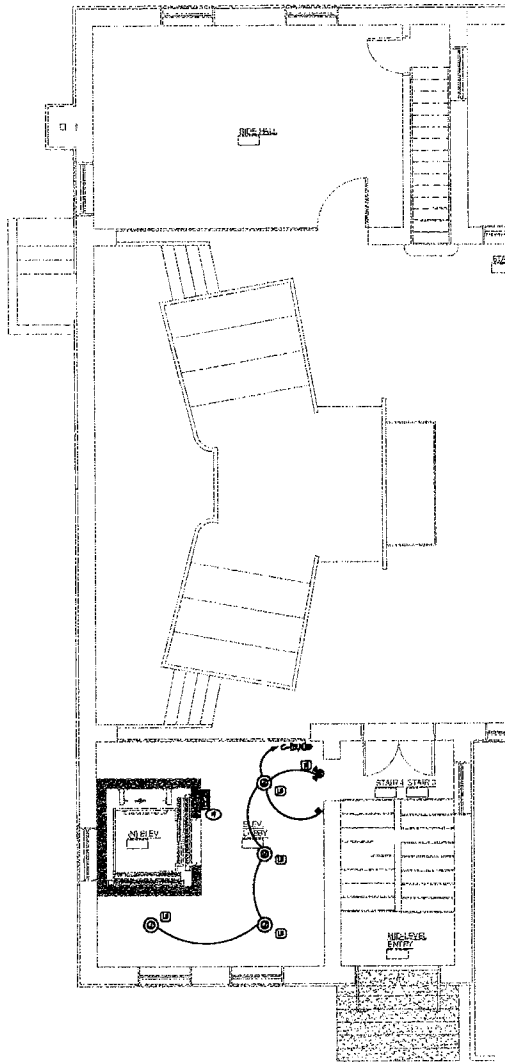
Electrical
Demolition
Plans



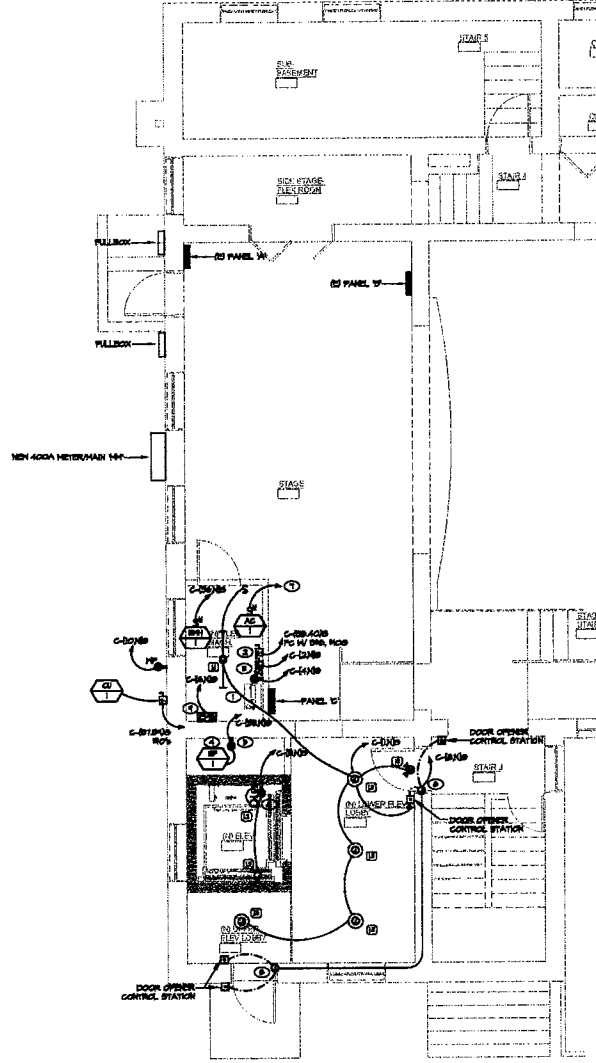
PK Electrical, Inc.
Engineering • Design • Consulting

4815 S. 2nd St., Ely, Nevada 89301
252 S. 2nd St., Ely, Nevada 89301
252 S. 2nd St., Ely, Nevada 89301

E-I.1



B UPPER LEVEL ELECTRICAL PLAN
E2.1 SCALE: 1/4" = 1'-0"



A LOWER LEVEL ELECTRICAL PLAN
E2.1 SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. 25' AND/OR HALF-TONE LINES INDICATE EXISTING EQUIPMENT, AN AND/OR SOLID LINES INDICATE NEW EQUIPMENT, UNLESS NOTED OTHERWISE.
2. ONLY EQUIPMENT AND WIRING ASSOCIATED WITH ELEVATOR EQUIPMENT IS PERMITTED WITHIN ELEVATOR MACHINE ROOM. NO DISCONNECTS REFER TO NEG. ARTICLES EXCEPT GATE PIPING, WIRING OR EQUIPMENT DIRECTLY RELATED TO ELEVATOR (i.e. ELEVATOR PIT BUMP, PIT LIGHT AND SWITCH PIT RECEPTACLE, ETC.) IS PERMITTED.
3. ELEVATOR EQUIPMENT SHALL BE PROVIDED PER NEG. ARTICLE 800.52.
4. DISCONNECTS NEARBY FOR ELEVATOR CONTROLS AND AUXILIARY EQUIPMENT (ELEVATOR CAR LIGHTS, POWER VENTILATOR AND HVAC) MUST BE CAPABLE OF BEING LOCKED IN THE OPEN POSITION. REFER TO NEG. ARTICLES 800.53 AND 800.54.
5. TELEPHONE SERVICE IS REQUIRED AT ELEVATOR CONTROLLER. COORDINATE WITH TELECOM CONTRACTOR.
6. COORDINATE WITH FIRE ALARM CONTRACTOR AND FIRE ALARM PLANS WITHIN THIS DRAWING FOR FIRE ALARM DEVICE REQUIREMENTS AND ELEVATOR EQUIPMENT CONNECTIONS TO FIRE ALARM SYSTEM / PANEL.

SHEET NOTES

1. ELEVATOR CONTROLLER FURNISHED BY ELEVATOR CONTRACTOR. ELECTRICAL CONTRACTOR TO COORDINATE FOR WIRING FINAL ELECTRICAL CONNECTIONS.
2. PROVIDE A 250V, SINGLE PHASE DISCONNECT SWITCH FOR ELEVATOR MAIN POWER SUPPLY. ELEVATOR MAIN POWER SUPPLY SHALL BE 250V, 3PH, 4W, 3L, EARTH 250V SERIES, OR EQUAL UPON ENGINEER'S APPROVAL. DISCONNECT SWITCH SHALL BE PROVIDED WITH AN AUXILIARY CONTACT AND WIRING TO ELEVATOR CONTROLLER FOR CONTROL OF EMERGENCY RETURN UNIT. AUXILIARY CONTACT SHALL CAUSE EMERGENCY RETURN UNIT TO BE DISCONNECTED FROM ITS LOAD WHEN ELEVATOR MAIN POWER SUPPLY DISCONNECTS WIRING IS IN THE OPEN POSITION.
3. PROVIDE A 1-PHASE DISCONNECT SWITCH LOCKABLE IN THE OPEN POSITION FOR ELEVATOR CAR LIGHTS, POWER AND HVAC.
4. PROVIDE ELECTRICAL CONNECTIONS TO BUMP PUMP CONTROL / ALARM PANEL (PROVIDED BY PLUMBER CONTRACTOR). REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION. PROVIDE BUMP CONTACT BETWEEN LOCATION OF PLUMB SWITCH IN ELEVATOR PIT TO ALARM PANEL. FOR SERIAL WIRING PROVIDED AND INSTALLED BY ELECTRICAL CONTRACTOR. COORDINATE REQUIREMENTS WITH MECHANICAL CONTRACTOR.
5. RECEPTACLE FOR GROUND-FLOW UP-FLOW SWITCHES. COORDINATE FINAL LOCATION WITH MECHANICAL CONTRACTOR PRIOR TO POORING.
6. CONNECT LIGHT FIXTURE TO RECEPTACLE CIRCUIT FOR THIS SPACE, AT LINE SIDE OF WPC. RECEPTACLE, LOCATE SWITCH AS REQUIRED BY ELEVATOR MANUF. AND ELEVATOR INSPECTOR.
7. IN-DOOR ACH UNIT POWERED AND CONTROLLED BY OUTDOOR CALL. CORRECT FIRE MANUFACTURER'S WIRING DIAGRAMS AND COORDINATE WITH MECHANICAL CONTRACTOR.
8. CORRECT POWER ASSEMBLY MOTOR PER MANUFACTURER'S WIRING DIAGRAMS. CORRECT CONTROL CIRCUITS AS REQUIRED. COORDINATE WITH DOOR INSTALLER.
9. BATH SHOWER-ARMED 120-Volt ELEVATOR VISUAL COMMUNICATION SYSTEM WITH 250 VAC POWER SUPPLY AND CELLULAR BATTERY DEVICE.

SHEET NOTES

Mercedes de la Cruz AIA
architect studio

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Improvements
910 Lincoln Hwy
Ely, Nevada 89315
White Pine County
0011906



0011906225
Grand Nevada AIA Green AIA

Drawn by	Checked by
10/10/2018	10/10/2018
Project No.	03
Scale	AS SHOWN
Date	10/10/2018
PLAN APPROVAL	

Electrical
Floor Plans

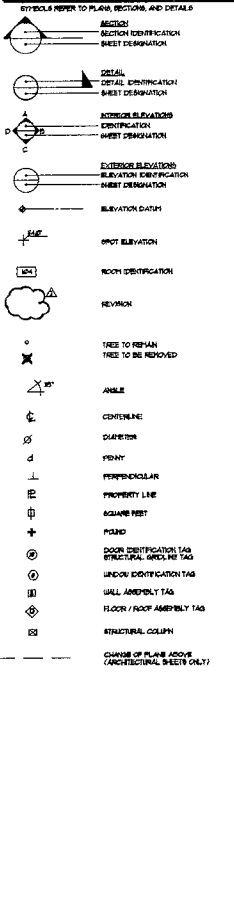
PK Electrical, Inc.
Engineering • Design • Consulting

E-2.1

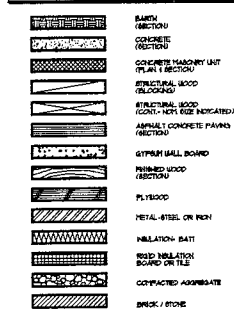
ABBREVIATIONS

Table of abbreviations for electrical, plumbing, and mechanical symbols, including terms like AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UV, UW, UX, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ

SYMBOLS



MATERIAL SYMBOLS



ENERGY CALCULATIONS

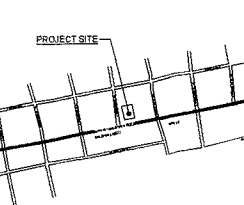
GENERAL NOTES

- 1. DETAILED BILL TYPICALLY CALL OUT GENERAL SPECIFICATIONS FOR MATERIALS, FINISHES, PLUMBING, ETC. PLEASE REFER TO THE APPROPRIATE ARCHITECTURAL, MECHANICAL, PLUMBING OR ELECTRICAL DETAILED SPECIFICATIONS OR CALCULATIONS.
2. ALL TRADES FOR THIS PROJECT TO COMPLY WITH THE REQUIREMENTS OF INTERIOR FINISHES FOR THE TREATMENT OF AIR QUALITY.

AGENCY REVIEW ITEMS

NOTE: ALL FIXTURES LISTED BELOW ARE EXISTING
TOTAL PLUMBING FIXTURE COUNT: 6
NOTE: ALL FIXTURES LISTED BELOW ARE NEW
TOTAL NEW PLUMBING FIXTURE COUNT: 0

LOCATION MAP



SHEET INDEX

Table listing sheet numbers and titles, such as A-0 COVER SHEET, A-10 EXISTING FLOOR PLAN, A-11 LOWER LEVEL PROPOSED FLOOR PLAN, etc.

PROJECT DATA

OWNER: WHITE FINE COMMUNITY CHURCH P.O. BOX 8000 ELY, NEVADA 89305
ARCHITECT: MERCEDES DE LA GARZA AIA 210 CALIFORNIA AVENUE RENO, NEVADA 89505
MECHANICAL ENGINEER: AMERICAN ASSOCIATES 100 HOLCOMBE AVE SUITE 301 RENO, NEVADA 89505
ELECTRICAL ENGINEER: PK ELECTRICAL, INC. 800 GERRARD ROAD DRIVE, SUITE B RENO, NEVADA 89505

BUILDING AREA

Table showing building area statistics: TOTAL 1st FLOOR CONDITIONED AREA: 3,769 SF, TOTAL 2nd FLOOR CONDITIONED AREA: 4,946 SF, TOTAL 2nd FLOOR CONDITIONED AREA: 1,000 SF.

CONSTRUCTION SUMMARY

CONSTRUCTION TYPE: TYPE TYPE V-0 APPLICABLE CODES: 2018 IBC, 2018 UPC, 2018 NEC, 2018 IFBC, 2018 IMBC, 2018 ISCC, 2018 LSCC.

JURISDICTION

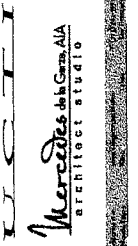
DEPARTMENT OF BUILDING CITY OF ELY 501 HILL STREET ELY, NEVADA 89301 TEL: (775) 255-8500

NET COVERABLE

TOTAL LOT AREA: (772 ACRES) 160,000 SF. EXISTING BUILDING: 6,712 SF.

SHEET NOTES

1. DETAILED BILL TYPICALLY CALL OUT GENERAL SPECIFICATIONS FOR MATERIALS, FINISHES, PLUMBING, ETC. PLEASE REFER TO THE APPROPRIATE ARCHITECTURAL, MECHANICAL, PLUMBING OR ELECTRICAL DETAILED SPECIFICATIONS OR CALCULATIONS.



Centennia Fine Arts Accessibility Improvements

910 Lincoln Hwy Ely, Nevada 89315 White Pine County 00119906

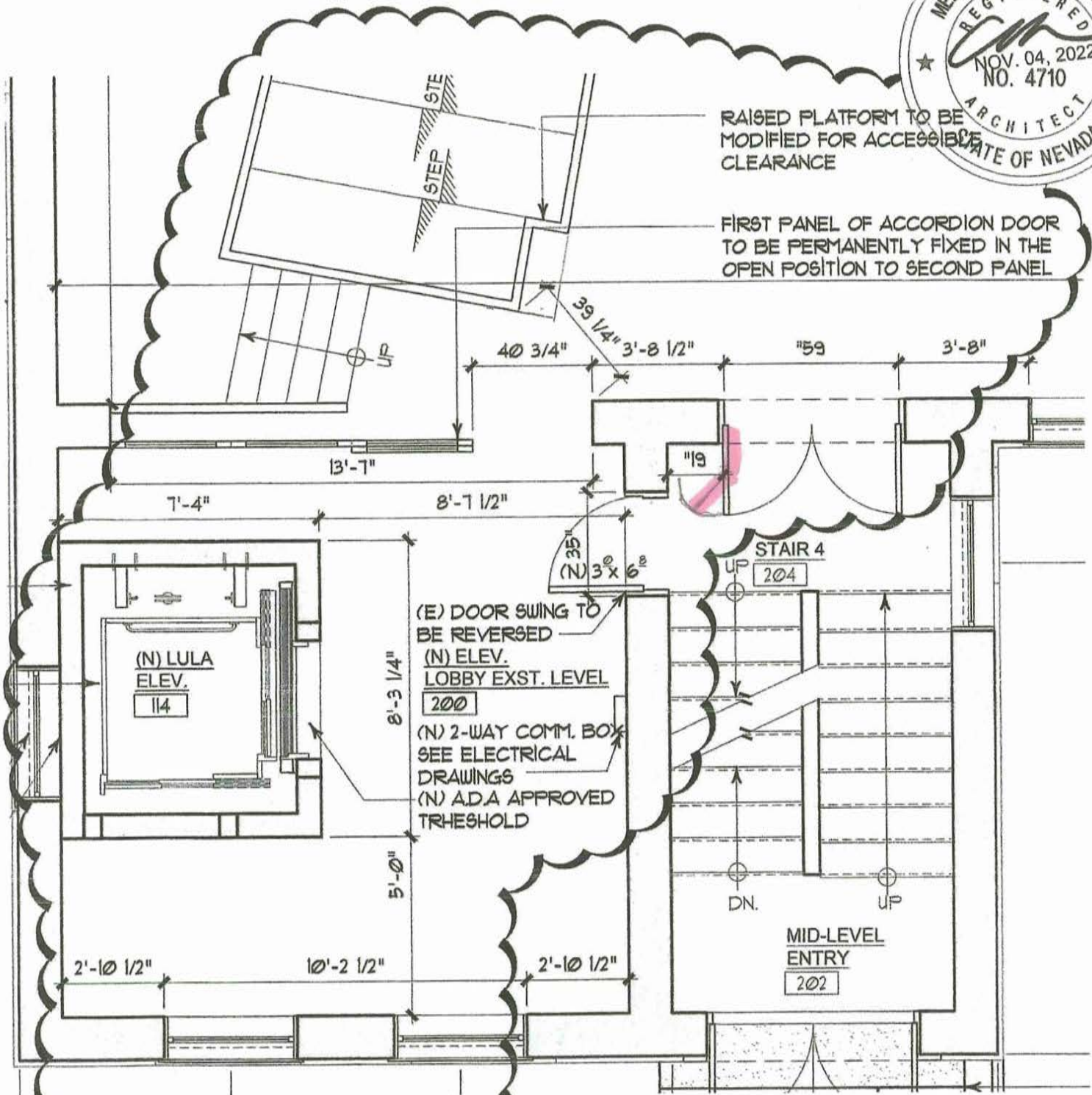


Mercedes de la Garza AIA, Licensed Professional Architect, State of Nevada, No. 476.

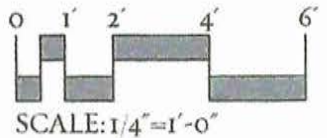
Table for PLAN APPROVAL with columns for Name, Title, Date, and Signature.

Cover Sheet

A-0



NOTE:
 DOORWAYS WITHOUT DOORS SHALL COMPLY w/ A117 SECTIONS 305.2 & 404.2.3.4
 NEW DOOR TO MATCH EXISTING & TIGHT FITTING AS PER IEBC

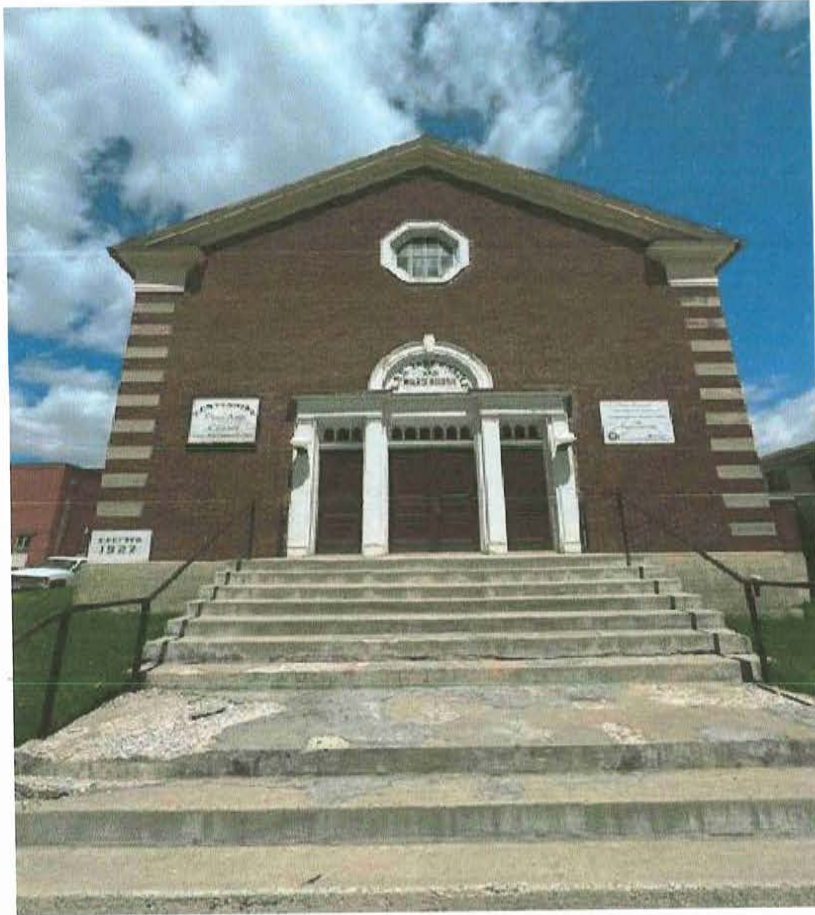


Mercedes de la Garza, AIA
 architect studio

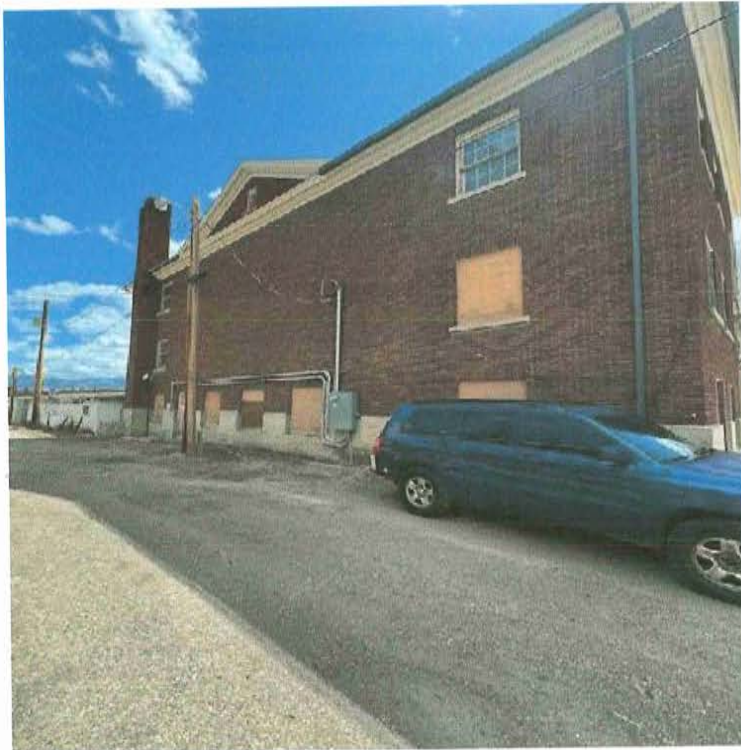
Centennial
 Fine Arts
 Accessibility
 Improvements

910 Lincoln Hwy.
 Ely, Nevada 89315

Drawn By: hch Checked By: md
 Drawing Date: 11.04.22
 Drawing Version Phase: CD
 Revision: _____
 Rev. Date: _____



South
Elevation
Main
Entrance

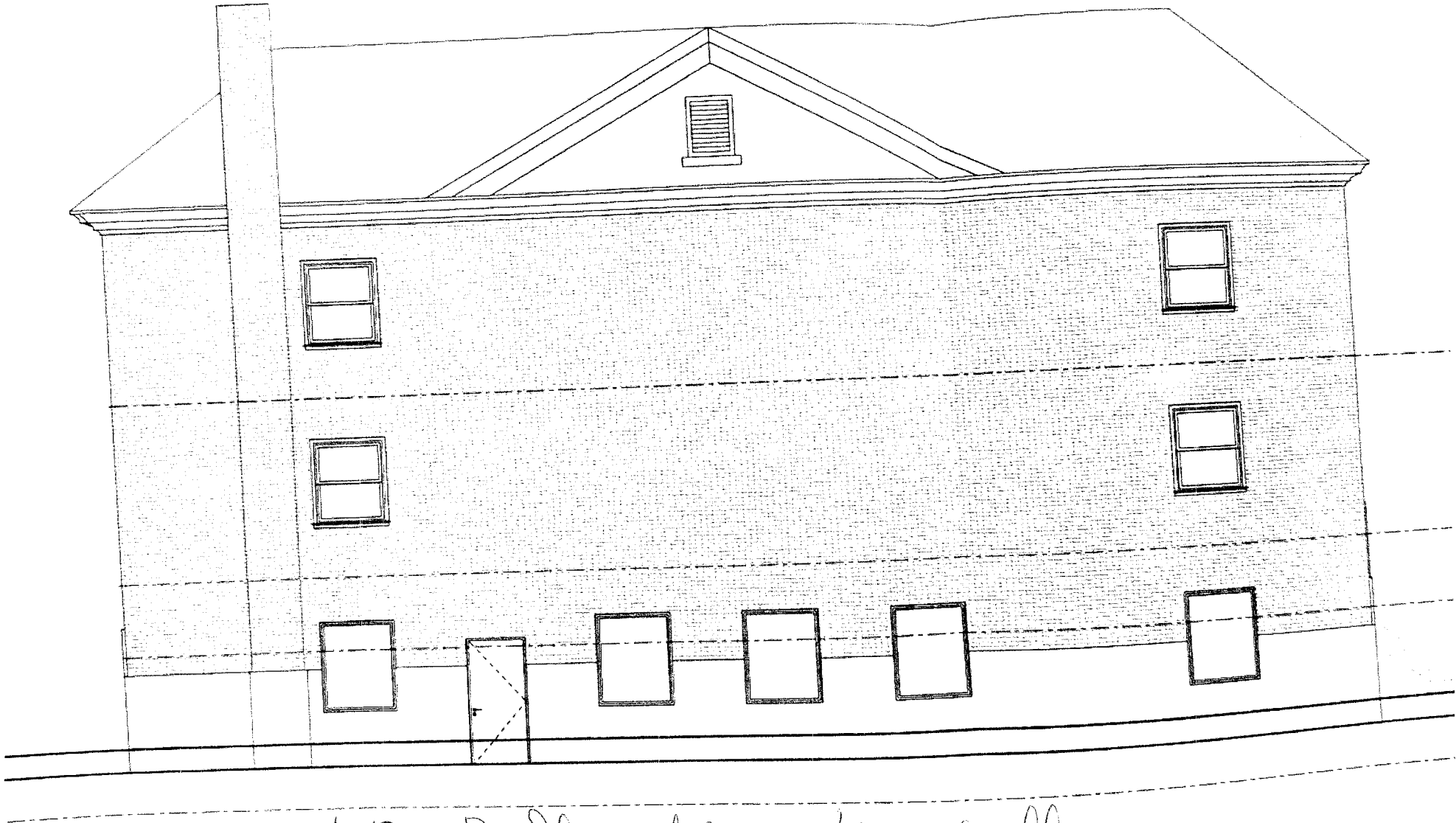


North
Elevation



South Elevation & Main Entrance

① SOUTH BUILDING ELEVATION
1/4" = 1'-0"

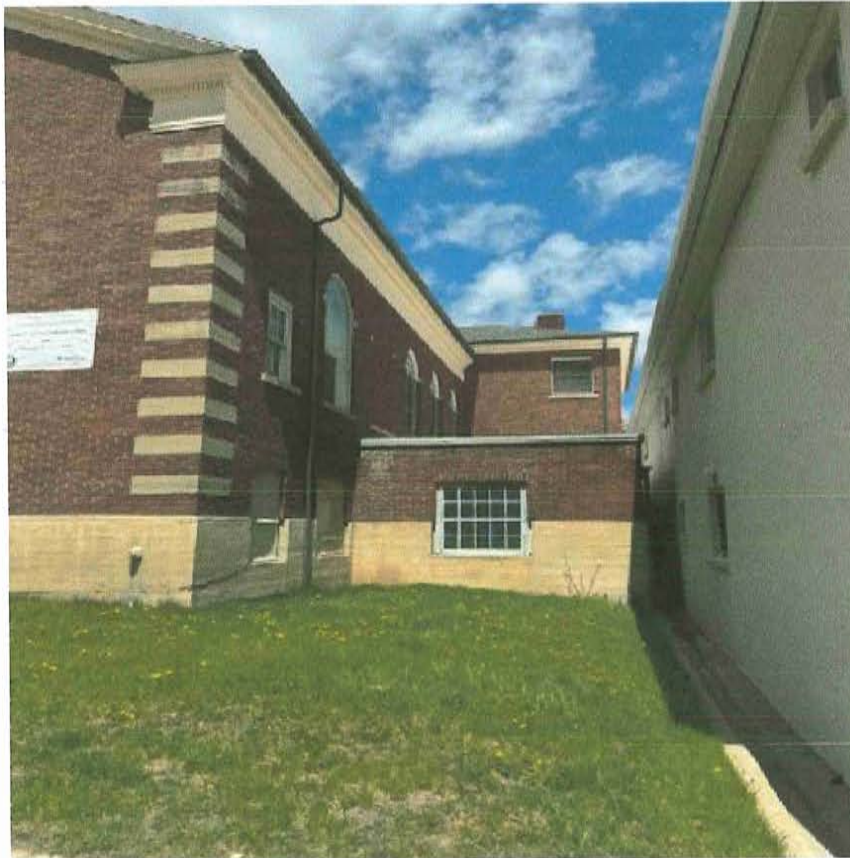


North Elevation - faces alley

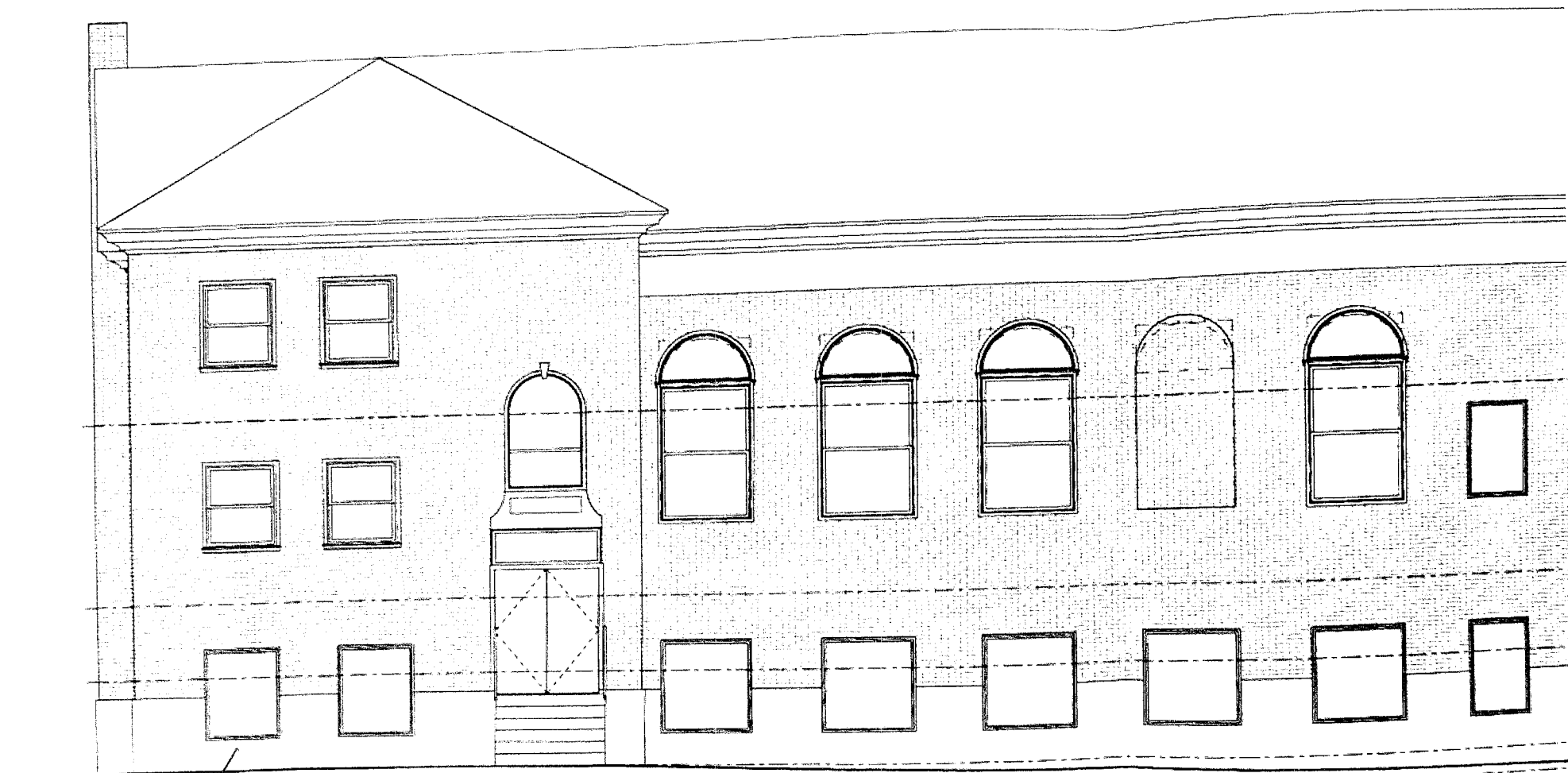
① NORTH BUILDING ELEVATION
1/4" = 1'-0"



West
Elevation



East
Elevation



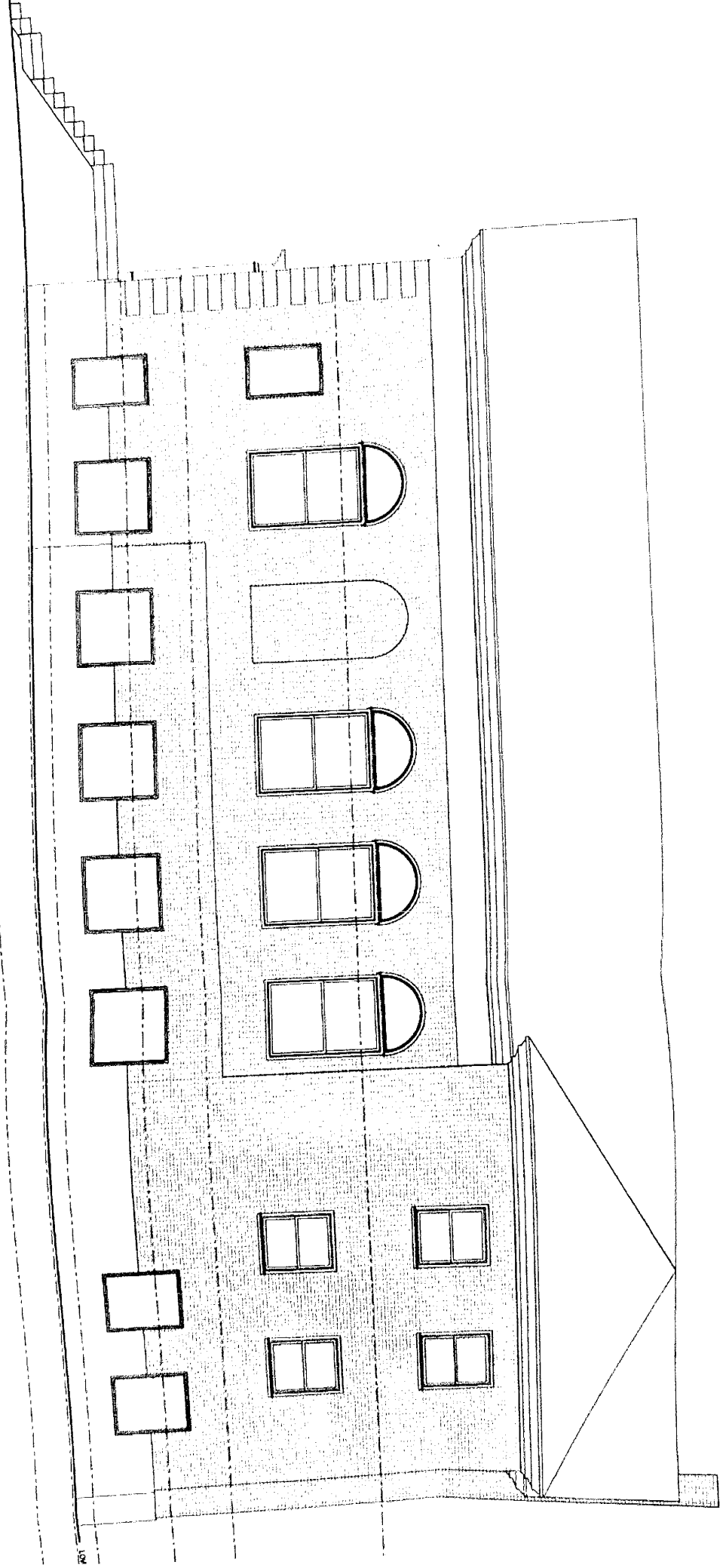
Window replaced with ADA Access door

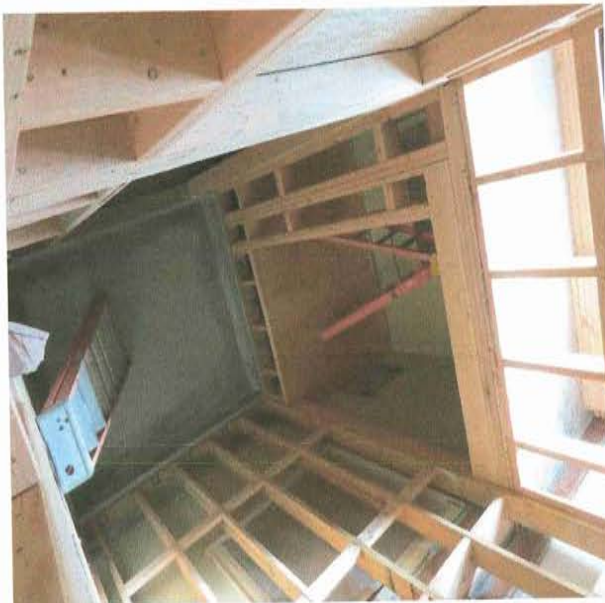
West Elevation

1 WEST BUILDING ELEVATION
1/4" = 1'-0"

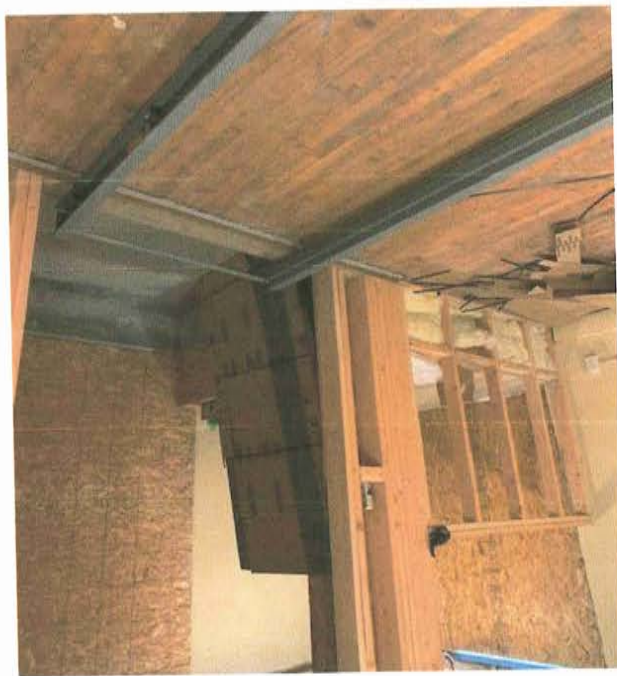
East Elevation

1 EAST BUILDING ELEVATION
1/4" = 1'-0"

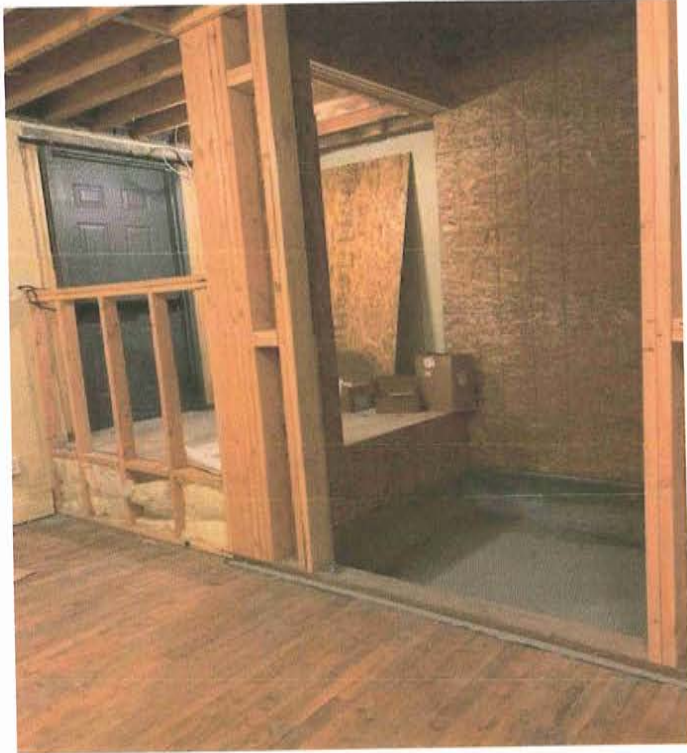




U2
Looking down from
main level to
elevator shaft

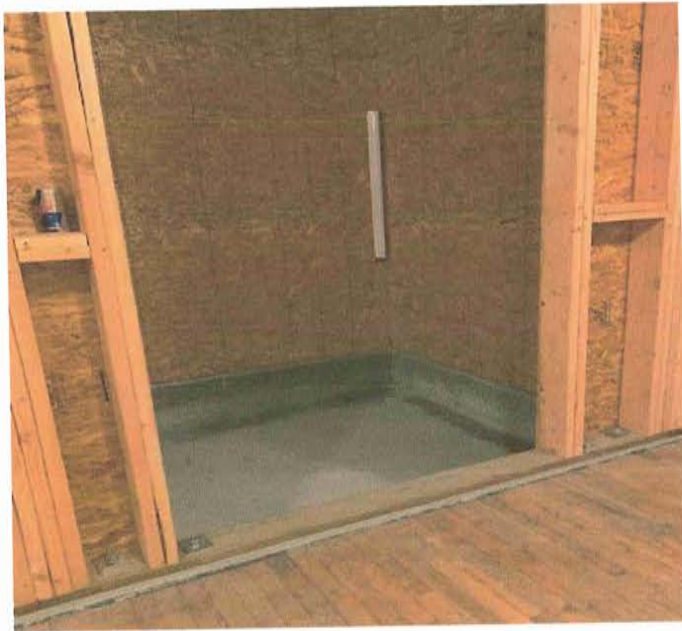


U1
Lower level
ADA access from
outside and
elevator shaft



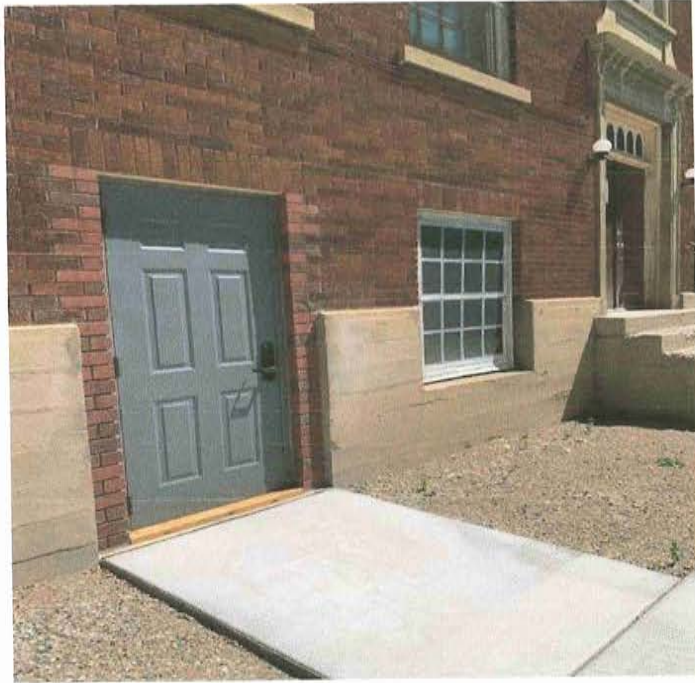
LL3

ADA access from street



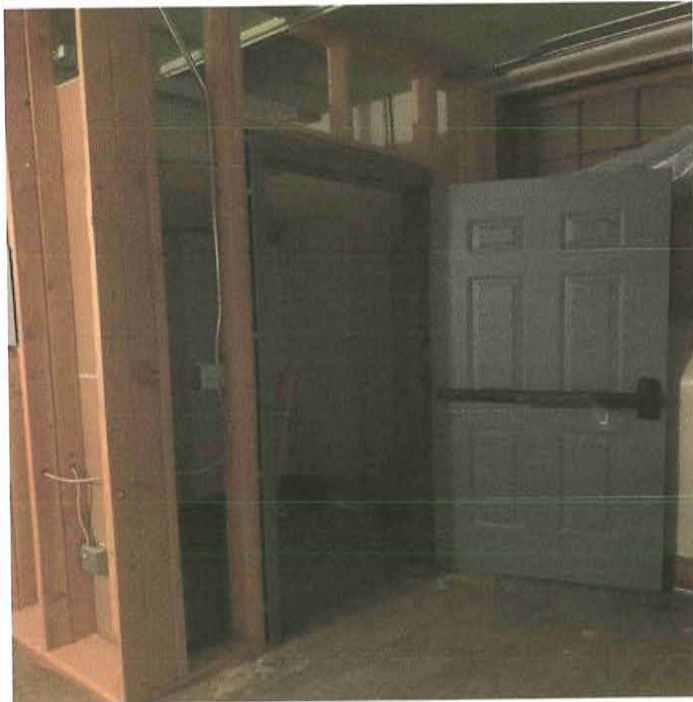
LL4

elevator shaft



LL5

street access to
elevator



LL6

elevator
electrical and
mechanical room



LL7

area where
ADA ramp will
be installed
to access lower
level

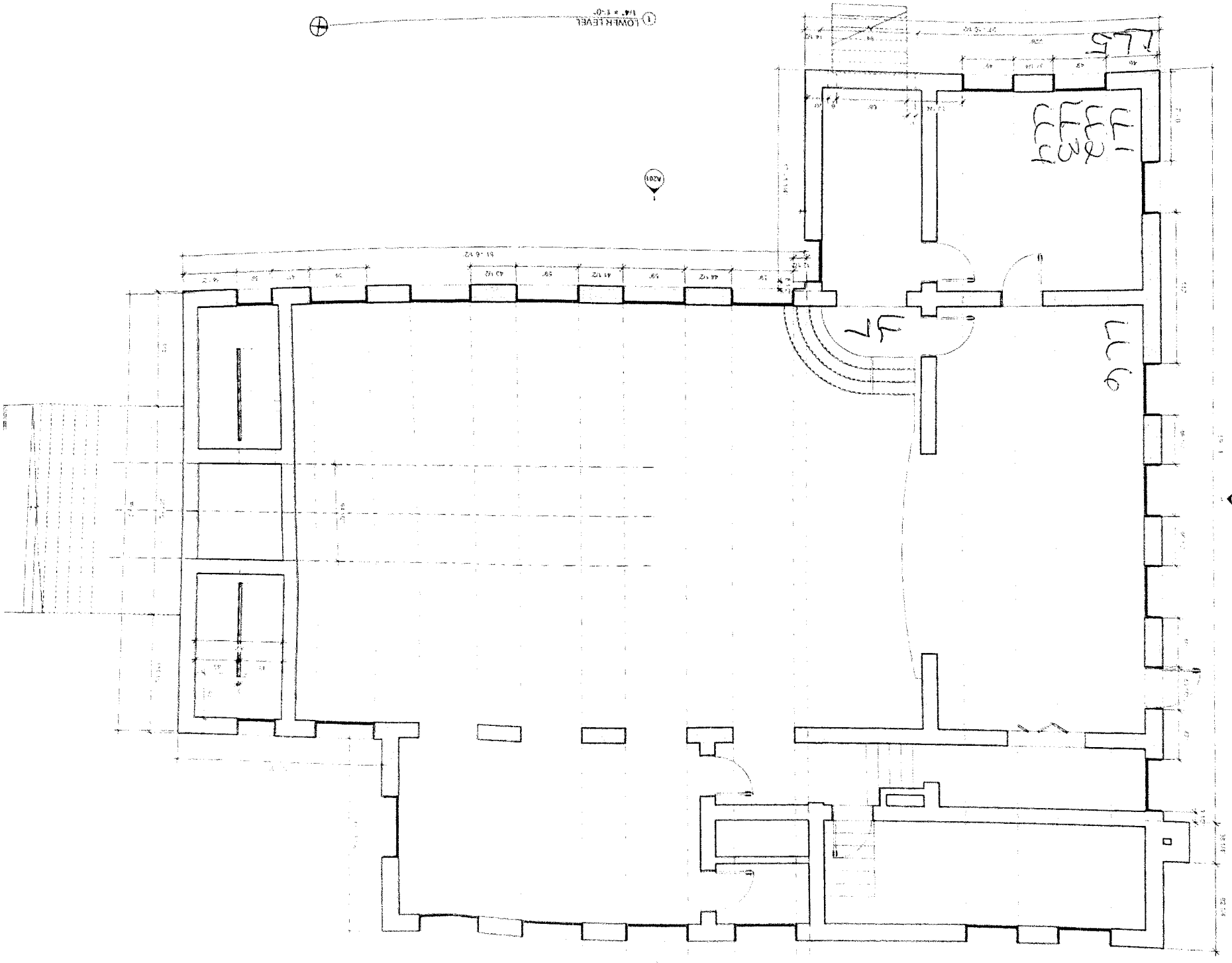


MF1

main floor
elevator shaft
& vent to
sanctuary



① LOWER LEVEL



LL5

LL6

LL7

1

2

3



MF2

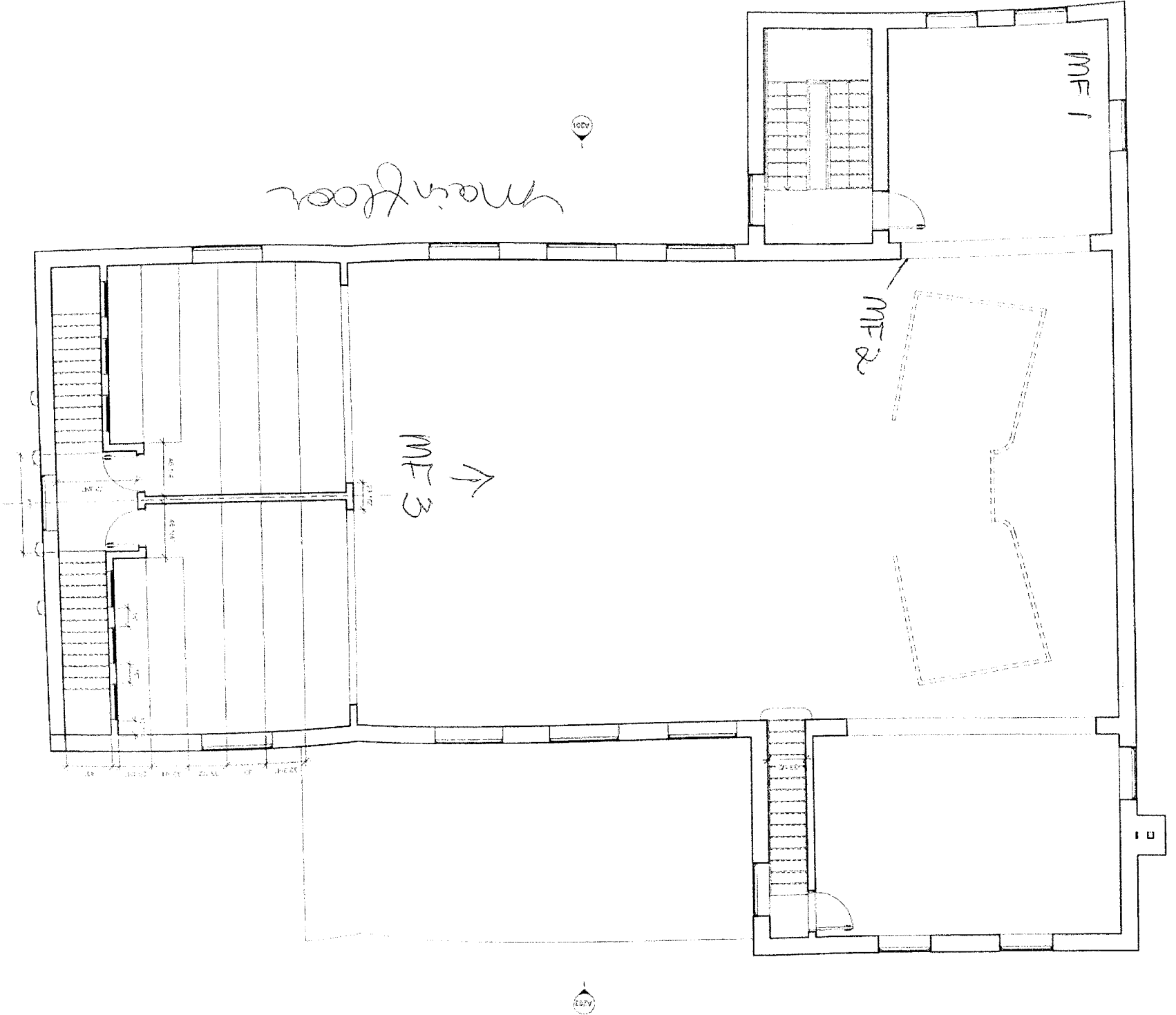
choir surround
modification
for ADA access
through doors
per fire
marshal



MF3

main
sanctuary
elevator room
to the left

main floor



BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY

I -

a) STRUCTURAL STABILIZATION

The following is a comprehensive list of recommendations for structurally stabilizing the building in order of most critical to least critical for the life-safety of the public. The details associated with the listed items are integrated throughout this report in the corresponding section.

Shen Engineers, Inc. Structural/Seismic Consultants

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Holladay, UT 84117

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Los Angeles, CA 90012

858.699.2275

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To Do List Based on Most Urgent to Less Urgent:

1. Brace existing chimney as shown on detail 1.
2. Fix wall cracks by using detail 2.
3. Upgrade existing hip beams on the two wings as shown on page 2-1.
4. If re-roofing, anchor the existing structure to the existing wall as shown on detail
5. Re-build interior south-west stairs and landing from lower level to main level.

Based on the historical building code, if the existing members perform 50% or over the building code, it's acceptable without upgrading them. But as an option, the following items can be upgraded to increase the building's strength to the new 2018 IBC code:

1. Upgrade existing roof joists and floor joists
2. Upgrade existing roof trusses.
3. Install holdowns to upgrade the lateral system.
4. If furring the existing wall with new 2x4 or 2x6 walls, follow detail 4 to make existing building better laterally and gravity.

INES

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY

NOTE: Shen Engineers full analysis including calculations and specific building code references, can be found in the Appendix of this report.

INES

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY

PARALLE / INES

I -

a) STRUCTURAL STABILIZATION

ASSESSMENT

The unreinforced masonry Chimney poses a life-safety threat if it were to collapse during a seismic or weather event.

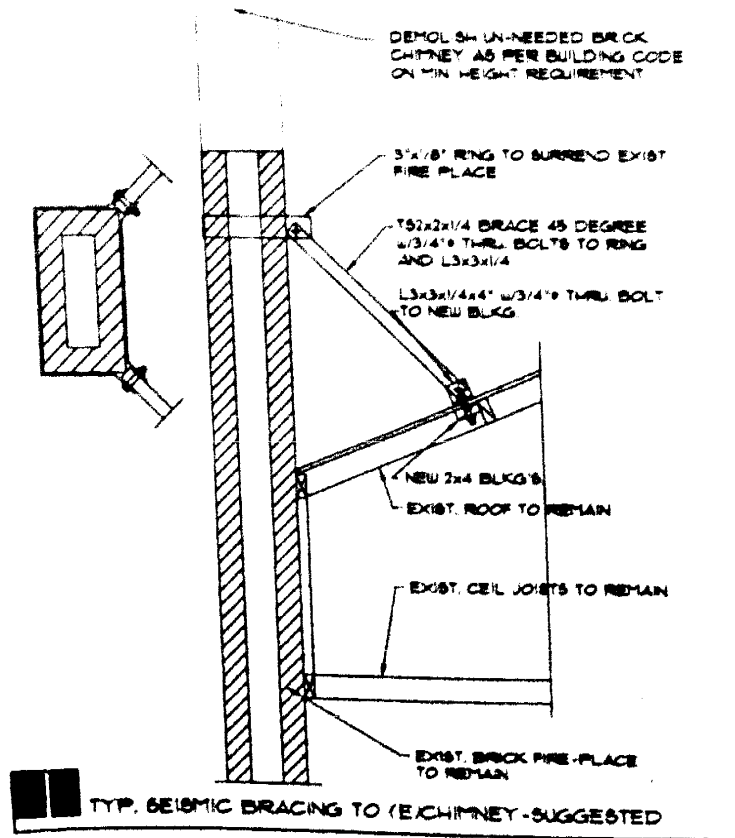
RECOMMENDATIONS

Brace the existing Chimney and demolish any unnecessary height based on requirements set forth in the current International Building Code (IBC).

INES

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY



BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY

I -

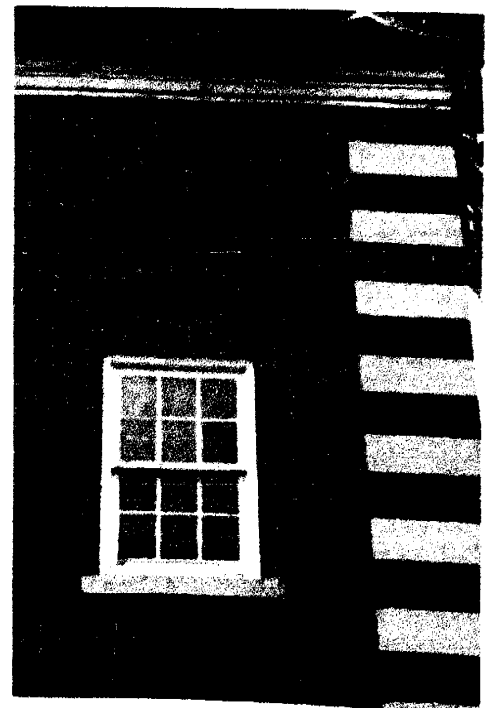
a) STRUCTURAL STABILIZATION

ASSESSMENT

The unreinforced masonry load-bearing exterior walls exhibit substantial diagonal cracking In the Southwest corner of the building

RECOMMENDATIONS

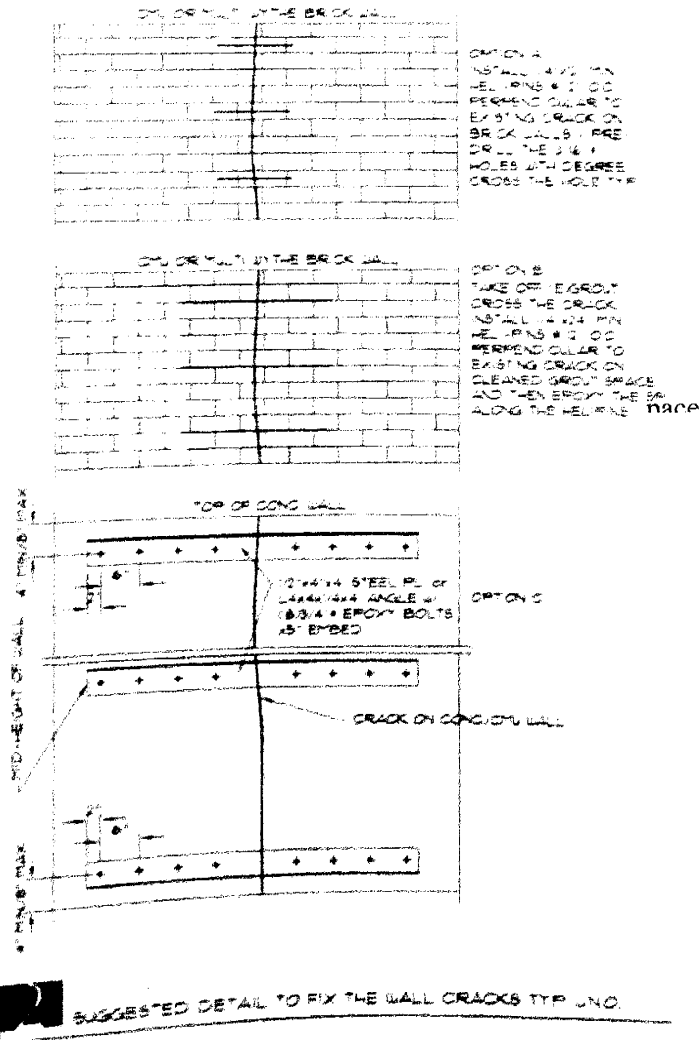
Follow the recommendations set forth in Detail 2 (below) to strategically reinforce the walls surrounding the cracking.



INES

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE I - STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY



a) STRUCTURAL STABILIZATION

ASSESSMENT

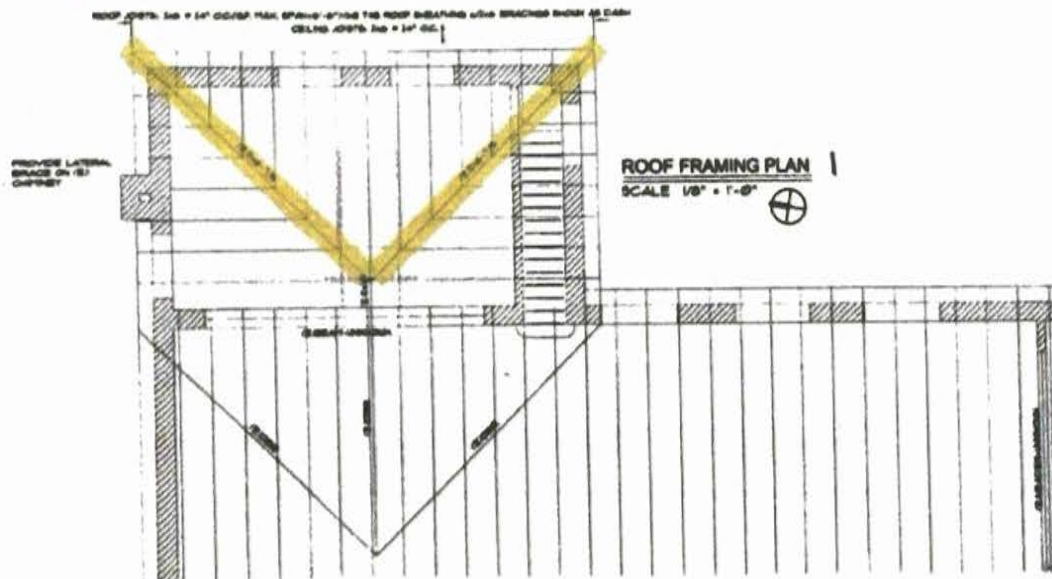
BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE I - STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY

The structural hip beams at the two wing roofs are currently undersized.

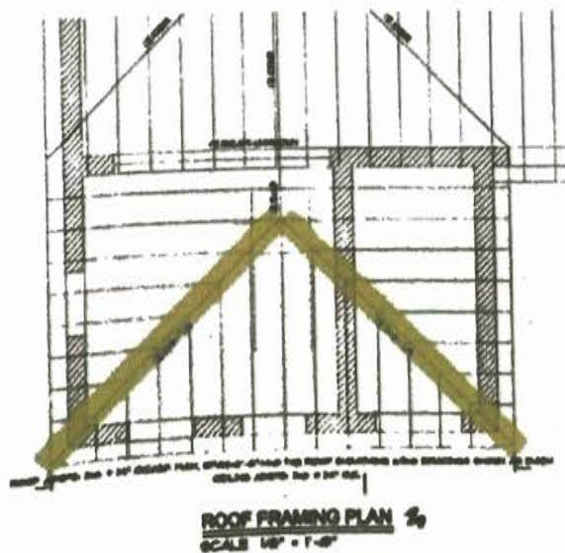
RECOMMENDATIONS

The beam sizes Will need to be designed and upgraded as shown in the locations below:



b) ROOF REPLACEMENT

ASSESSMENT



INES

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE I - STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY

As the existing roof is too deteriorated to repair, replacing the entire roof membrane is necessary.

RECOMMENDATIONS

INES

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE **I** - STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY

DEMOLISH EXISTING ROOF

INES

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE **I** - STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY

TYP. NEW ROOF ANCHORING TO

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE I - STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY

Demolish the existing roofing down to the existing diagonal sheathing, install a new layer of plywood sheathing, install a waterproofing membrane, install a new 30-year asphalt shingle roof, install new gutters, flashing and downspouts. All roof water runoff needs to be directed away from the building foundation and off site to prevent further settlement issues. Note: Asbestos abatement shall be included in the Roofing Contractor's scope of work.

(EXUALL

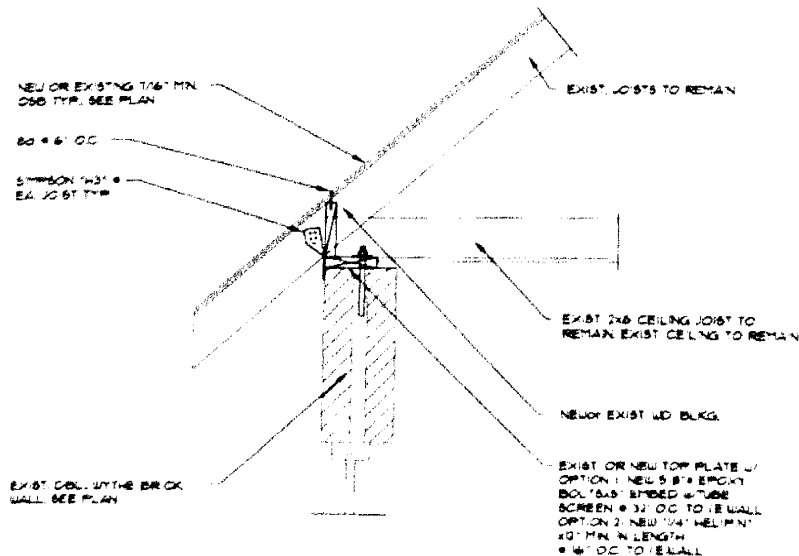
existing roofing down diagonal sheathing, layer of plywood

GAIN ACCESS TO STRUCTURAL UPGRADES

Once the existing roof has been demolished, access to key structural upgrades can be achieved:

- Bracing the Chimney, as discussed previously using Structural Detail #1.
- Anchoring the existing Roof Structure to the Existing Wall, as shown in Structural Detail #3.
- Adding Plywood Sheeting to strengthen the Roof Diaphragm.

CODE IS TO ZE
TO to RCCF
TO EXtS7NG BRICK UALL TYP. UNO



BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE I - STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY

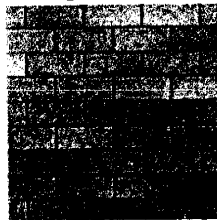
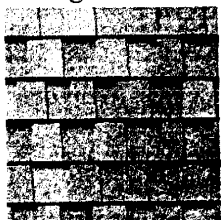
b) ROOF REPLACEMENT

RECOMMENDATIONS (continued)

APPLY NEW ROOFING MATERIAL

A new asphalt shingle roof will retain the original character Of the upper roof and is an economical choice. Two options can be considered:

- Architectural Shingles (Recommended Option):
Various shapes and sizes resulting in a dimensional and textured appearance. These shingles are thicker, resulting in a longer lifespan, typically a 30-year warranty.
- Three-Tab Shingles:
Only one tab size and shape. Less expensive than Architectural Shingles, yet also less thick. These shingles will need to be replaced sooner, typically a 20-year warranty.



Install a new TPO (Thermoplastic Polyolefin) 60 Mil membrane over the lower roof on the Eastern side of the building to prevent further water damage. Install corresponding flashing, counter flashing and coping cap.

c) ACCESSIBLE ENTRANCE/ ACCESS

ASSESSMENT

Currently, no means of Accessible Egress exists from the Street Level into the building.

RECOMMENDATIONS

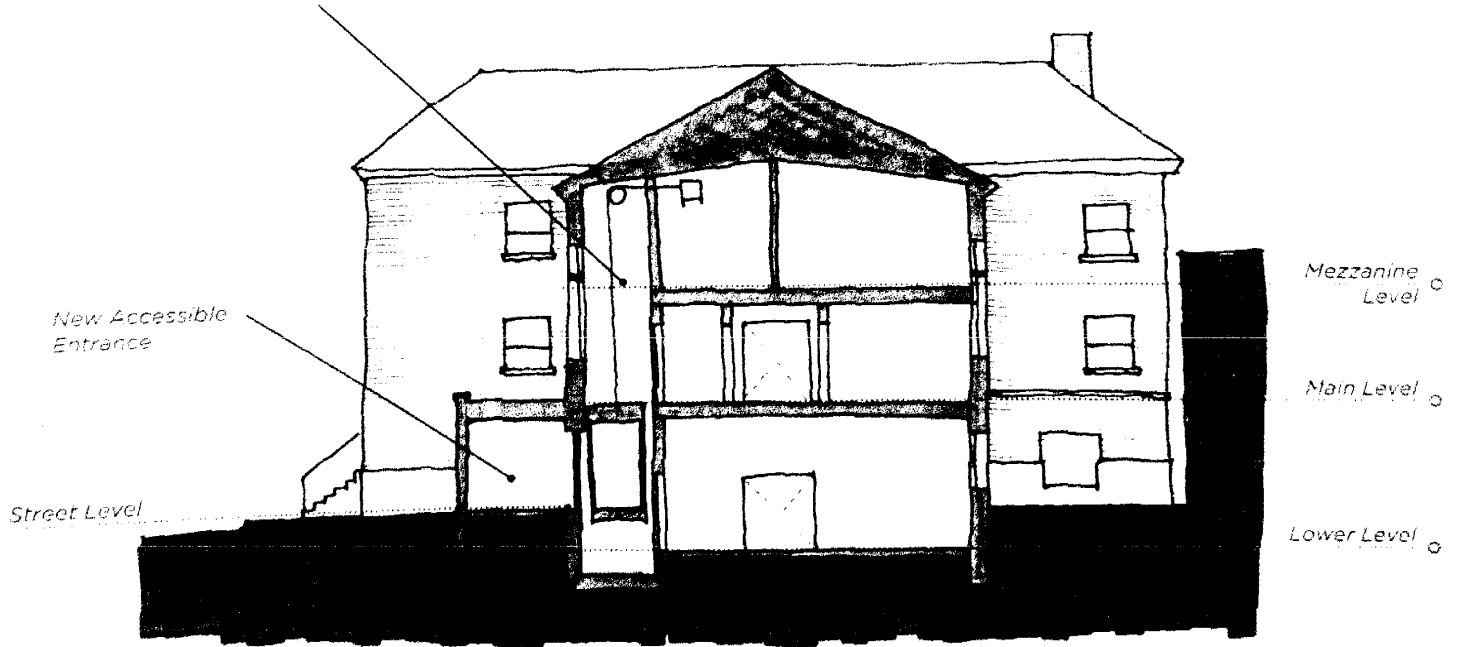
ADD AN ELEVATOR WITHIN THE EXISTING BUILDING FOOTPRINT

- Elevator to access the Lower Level and the Main Level of the building from the Street Level.
- Note: Due to IBC (International Building Code) requirements stipulating two (2) exits from an enclosed Mezzanine, it is important to maintain both front entry hall stairs from the Mezzanine Level to the Foyer Level to allow for continued use of the Mezzanine rooms.

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE I - STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY

New Elevator

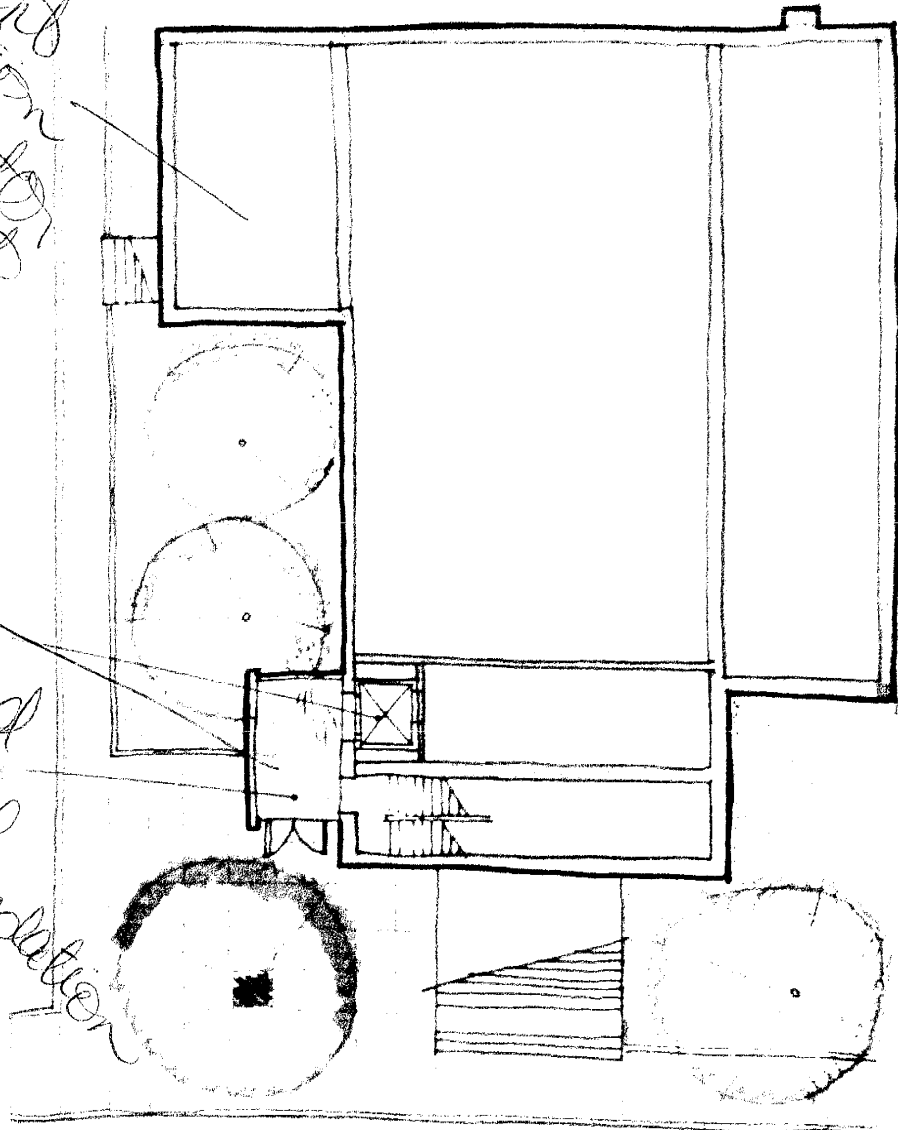


SECTION SHOWING ELEVATOR AND ACCESSIBLE ENTRANCE
BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE I - STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY
c) ACCESSIBLE ENTRANCE/ ACCESS

*Current
Location
of
ELEVATOR
Shaft*

*Elevator
Plan
Changed
from
Initial
Recommendation*



*10' up
9' down*

ACCESSIBLE
ENTRANCE

LEVEL PLAN
SHOWING ELEVATOR

INES

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE I - STRUCTURAL UPGRADES, WEATHERIZATION,
ACCESSIBILITY

Aultman Street

STREET

BUILDING ASSESSMENT AND
RECOMMENDATIONS

PHASE I - STRUCTURAL UPGRADES, WEATHERIZATION,
ACCESSIBILITY
c) ACCESSIBLE ENTRANCE / ACCESS

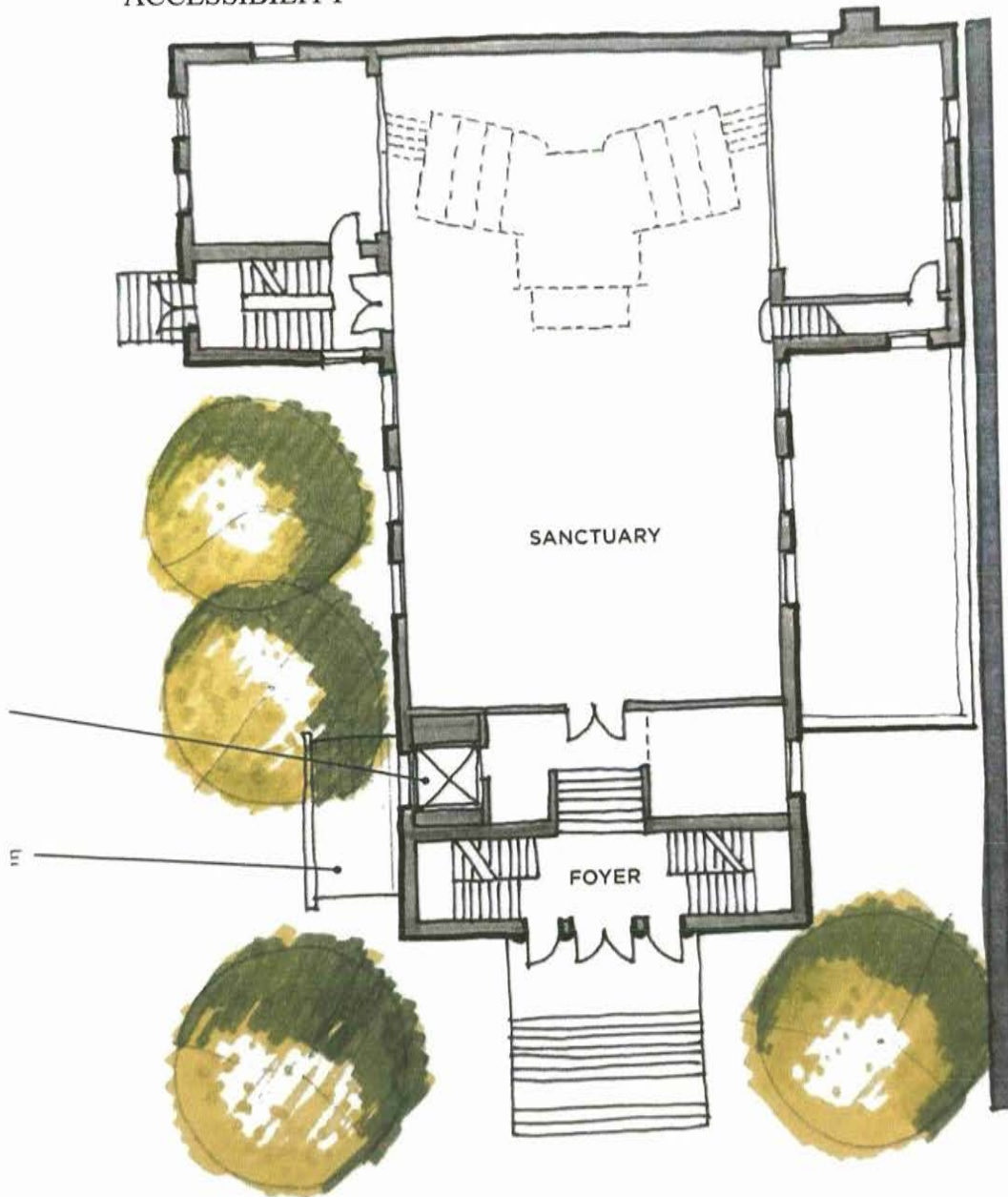
ELEVATOR

LEVEL PLAN
SHOWING ELEVATOR

INES

BUILDING ASSESSMENT AND
RECOMMENDATIONS

PHASE I - STRUCTURAL UPGRADES, WEATHERIZATION,
ACCESSIBILITY



ACCESSIBLE
ENTRANCE
ROOF

PARALLE INES

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE I - STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY

MAIN

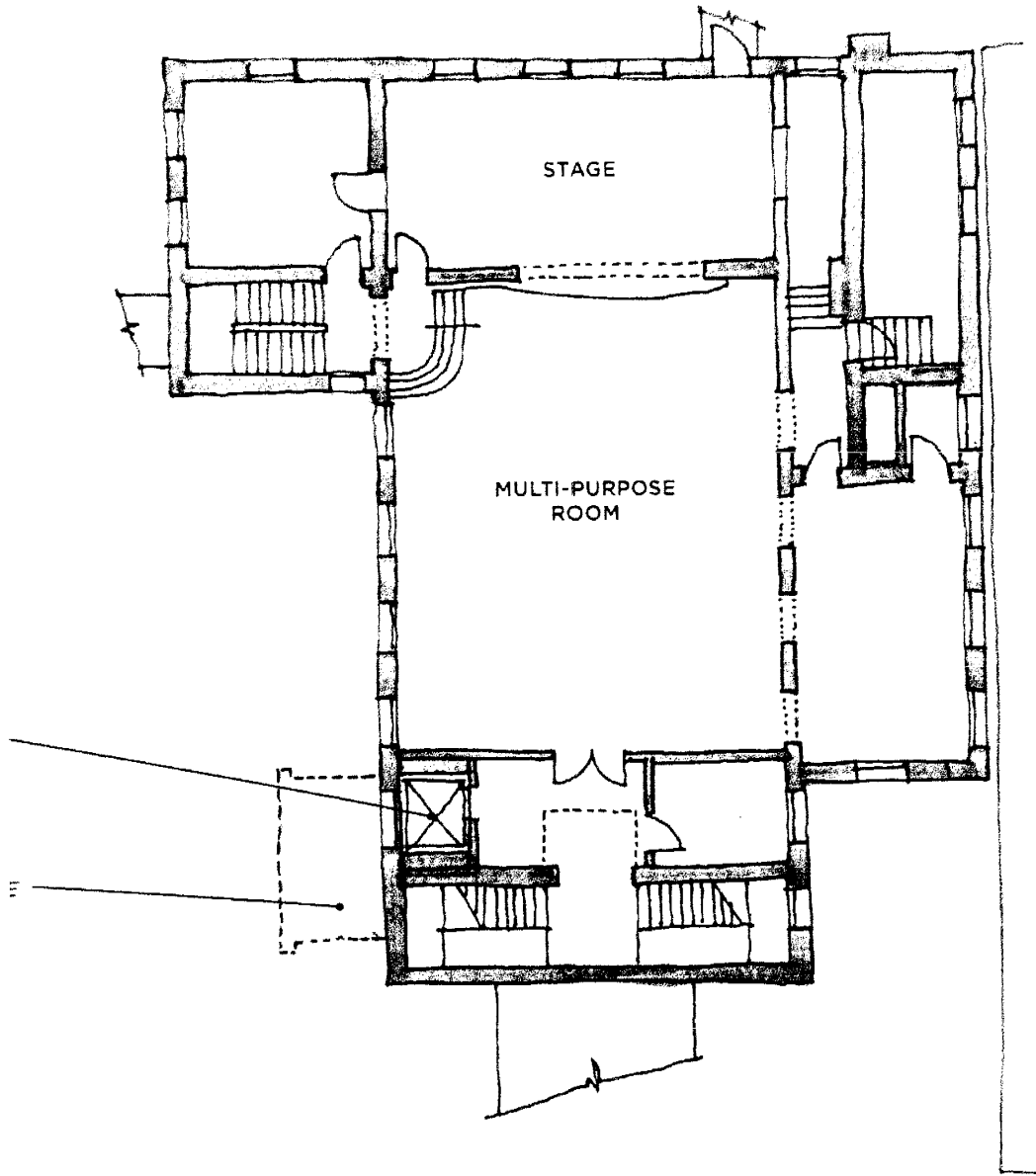
c) ACCESSIBLE ENTRANCE /
ACCESS

ELEVATOR

LEVEL PLAN
SHOWING ELEVATOR

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE I - STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY



ACCESSIBLE ENTRANCE
ABOVE

PARALLE INES

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE I - STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY

LOWER rm



c) ACCESSIBLE ENTRANCE/ ACCESS

LEVEL PLAN
SHOWING ELEVATOR

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE I - STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY

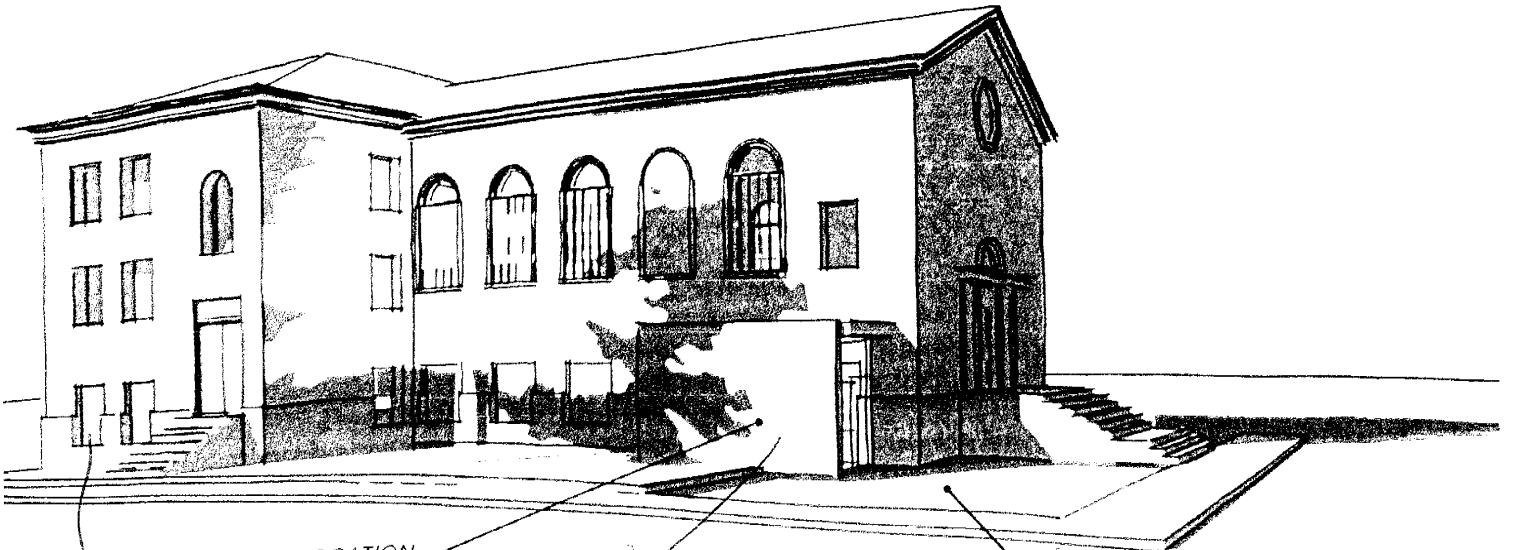
SIMPLE,



E. MODERN ADDITION

DOORS ALIGN
TOWARD AULTMAN ST

MODERN ADDITION TO FOCUS IMPORTANCE ON THE HISTORIC STRUCTURE



PROMINENT LOCATION,
EASY TO IDENTIFY

not recommended
by SHPO

PEDESTRIAN PLAZA
FOR PRE AND post
FUNCTION GATHERINGS

Window replaced
by ADA Access
door in Phase
One

EXTERIOR SKETCHES SHOWING

PARALLE INES

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE I - STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY ACCESSIBLE ENTRANCE

LEVEL PLAN
SHOWING ELEVATOR

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY

c) ACCESSIBLE ENTRANCE / ACCESS

RECOMMENDATIONS (continued)

ADD AN ACCESSIBLE ENTRANCE

- **Prominent Location**

By locating the Accessible Entrance at grade level on the South-West corner of the existing building, it becomes a beacon. Orientation towards Aultman street mimics the same orientation as the existing main entry and easily seen from the new proposed accessible parking stalls, which are further detailed in "Phase III - a) Parking" of this report.

- **Integrated Plaza**

Incorporating a hardscaped plaza area adjacent to the Accessible Entrance provides an exterior gathering space during events, helps to eliminate the amount of lawn, and provides the opportunity to help redirect water runoff from the building off-site.

- **Character of New Architectural Elements**

We acknowledge that while a historic building conveys a certain sense of time and place associated with its history, it becomes dynamic with alterations and additions occurring over time. We respect the building's history by NOT intentionally replicating it. The modern architectural style for all Accessibility additions, including the new Accessible Entrance and the new guardrails, will help accentuate the existing historic structure, and allows users to easily identify the historical building next to its modern updates.

The new work should be differentiated from the old, but in order to be successful it MUST be compatible with the massing, scale, size and architectural features to protect the historic integrity of the existing building.

CODE COMPLIANCE

- The building shall be classified as an Assembly Group A-3 Occupancy. A comprehensive Life-Safety Analysis as dictated by the current IBC will need to be completed to determine the building's egress and exiting strategy based on its occupant load.
- New ADA compliant Restrooms, including a Family Restroom.
- New Guardrails and Handrails at both exterior stairs.
- Access to a building entry from designated accessible parking at Street Level.

I -

d) EXTERIOR RESTORATION

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE I - STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY

ASSESSMENT

Surface cracking in the masonry facade has developed over time due to settlement of the structure.

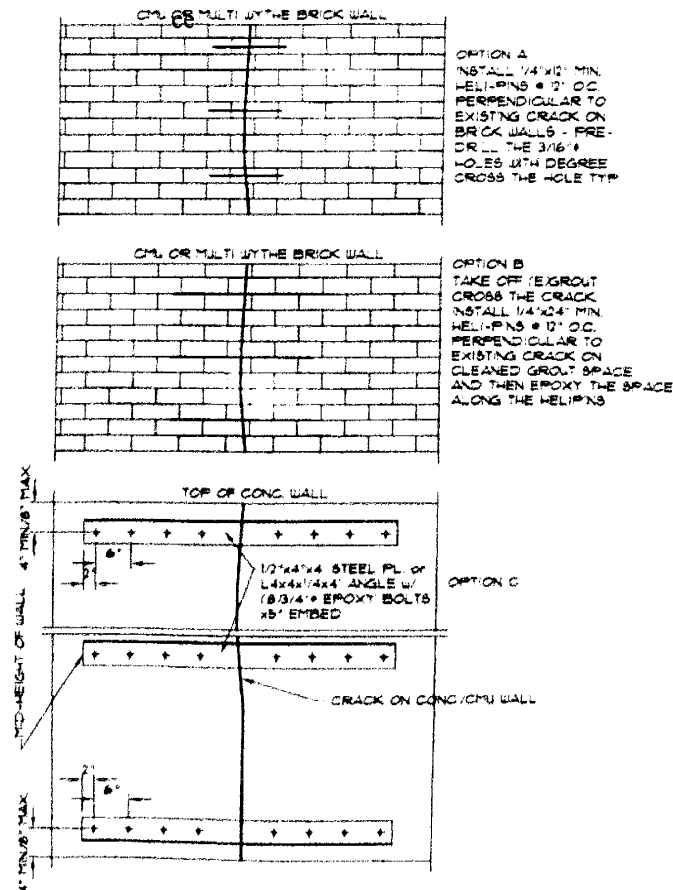
RECOMMENDATIONS

MASONRY RESTORATION

Consult a Masonry Restoration Specialist to do a thorough investigation and determine areas of the brick facade where the mortar is loose and may need repointing.

Reinforce and strengthen the brick wall where cracking has occurred, specifically in the Southwest corner of the facade.

- Install Heli-pins as shown in Structural Detail #2.



SUGGESTED DETAIL TO FIX THE WALL CRACKS TYP. U.N.O.

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE I - STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY

d) EXTERIOR RESTORATION

ASSESSMENT

Many of the existing single-pane double-hung windows, specifically in the Sanctuary space, have broken components which contribute to air leakage and compromise the energy efficiency of the space.

RECOMMENDATIONS

EXTERIOR WINDOW UPGRADES

Three (3) options regarding the exterior windows are outlined below:

Opt 1: Repair Broken Components of Existing Windows

- Recommended Option as it retains the historic character of the building.
- Sustain the historic operability of windows by replacing broken components of the operating system (such as hinges, latches, sash chains or cords), replacing deteriorated gaskets, replacing broken or missing glass panes and lubricating friction points pertaining to the operability of the component.
- Making windows weather tight by re-caulking gaps in fixed joints and replacing or installing weather-stripping.
- Note: While this option is the most applicable to maintaining historic significance, it is also the least energy efficient. Other measures such as increased insulation in the walls and attic space, as well as updating building systems can help offset the inadequate thermal properties of single pane glass windows.

Opt 2: Add Storm Windows

- Typically made of a single panel of glass or clear acrylic, these panels can be made to match the existing pane configuration and do not obscure the characteristics of the historic windows.
- Storm windows are removable, so they can be installed during the winter season to help retain heat in the building. They will need to be removed in the months when users of the building would like to open the windows and take advantage of cross breezes. This seasonal task of installing and un-installing is one that the building maintenance team must be willing to take on.
- While both exterior and interior storm windows exist, interior storm windows are a better application for this building mainly due to installation requirements. Other advantages of interior storm windows are price and maintaining the building's historic character from the exterior.

Opt 3: Replace Existing Windows

- New windows should match the old in material, design, scale, color, and finish.
- Analyze the U-value of the new windows and the overall potential energy savings to determine if the cost of new windows make it a good investment.

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE I - STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY

- Note: This option is the greatest degree of intervention, and should only be considered after protection, stabilization, and repair concerns have been addressed.

d) EXTERIOR RESTORATION

ASSESSMENT

The building's lack of insulation contributes to the overall energy inefficiency.

RECOMMENDATIONS

BUILDING INSULATION

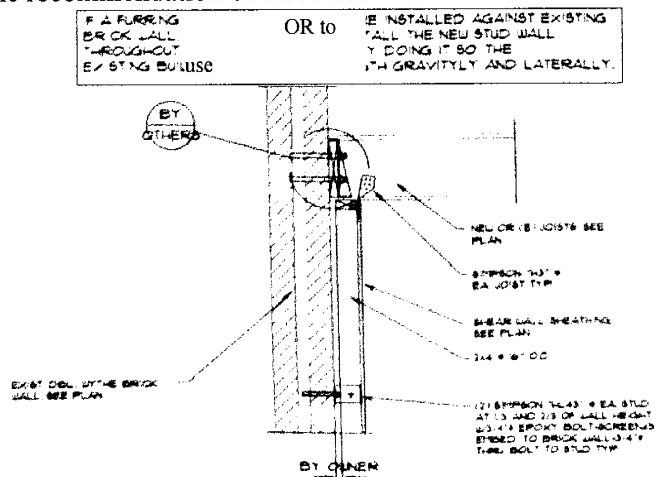
In order to improve the building's overall energy efficiency, the entire building envelope should be analyzed to determine essential locations for new insulation. Targeted areas to consider:

Attic Insulation

- Existing water damaged insulation and organic material found should be removed and properly disposed. New insulation added to the attic portion of the roof, either in the form of Batts or Blown-In, will increase the building's thermal envelope performance. Minimum R-Values shall be based on the current IECC (International Energy Conservation Code) and ASHRAE (American Society of Heating, Refrigerating and Air-Conditioning Engineers) 90.1 requirements.

Furring out the Walls at the Lower Level

- Consider 2 layers of continuous rigid insulation to increase the R-value of the walls.
- A detail of the window casing to furred-out wall will be necessary in order to maintain the historical character of the windows.
- Define locations and extents of walls that DO NOT require furring out in order to preserve the original brick. This may include many of the interior walls.
- Follow the recommendation of Structural Detail #4 for added lateral strength.



BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE I STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY

SEGESTED NEW 2x4 STE WALL TO ERICK UAL-L CONN

d) EXTERIOR RESTORATION

RECOMMENDATIONS (Continued)

Insulate under the Main Level Floor

- Batt Insulation or Net and Blown Insulation will help control heat gain and loss between the Upper and Lower Levels and improve acoustical separation.

Main Level Walls

- Identify potential areas on the Main Level need to be insulated. This would require removing historic plaster and trim, and is not recommended unless absolutely necessary.

PARALLE INES

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE I - STRUCTURAL UPGRADES, WEATHERIZATION, ACCESSIBILITY

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE II - INTERIOR RESTORATION

a) FINISHES

ASSESSMENT

Most of the existing building interior finishes have been neglected over time which has contributed to their deterioration and damage. The ceiling in the main space is cracked in several places and large pieces of the existing plaster are at risk of falling on the seating area below. There are large cracks in the plaster along inside face of the South facing facade that can be seen in the staircase and entrance to the mezzanine spaces. Most of the finish on the original door/window casing, base and crown trim is flaking and in need of refinishing/replacing.

RECOMMENDATIONS

FRONT ENTRY DOORS

- Repaint the existing columns and front doors.
- Expose and refinish windows in the entry door panels, or replace them with new panes of glass as they were originally constructed. This allows more visibility into the Foyer as well as maximizes the natural light, which allows less reliance on new artificial lighting.

CLERESTORY AND TRANSOM WINDOWS

Repair and retain all interior clerestory and transom windows to allow for the sharing of natural light between interior spaces.

REPAIRING, REPLACING or REPAINTING PLASTER WALLS AND CEILINGS

Historic restoration standards recommend to repair or repaint, where possible, the existing original finishes using sustainable products and treatments, such as low VOC paints and adhesives and lead-safe paint removal methods.

The reality is that some of these finishes would be too costly / difficult to repair economically. It is our recommendation that in these areas the original lath and plaster finishes are demolished and replaced with a new Gypsum Wall Board (sheetrock) substrate that is then finished and painted to mimic the original finishes. This strategy is in keeping with the Organization's long-term goals for restoring the building, and has the added benefit of providing a finish that is also fire-retardant which is especially important if the recommendation to provide interior wall-furring is followed.

BUILDING ASSESSMENT AND RECOMMENDATIONS

17

PHASE II - INTERIOR RESTORATION b) BUILDING SYSTEMS

ASSESSMENT

In each Building Systems category (Plumbing, Electrical, HVAC) there have been significant changes in standards from whence the building was originally constructed. Whereas there does not seem to be any existing concerns with any of these Building Systems as they relate to the safety of the occupants of the building, there are concerns with the efficiency of these systems and the on-going cost that might be alleviated by increased efficiency.

RECOMMENDATIONS

EXAMINE THE SIZE OF EXISTING WATER-LINE

A Plumbing Engineer will need to be engaged to determine if the current water line size is appropriate for the new programmatic elements including the addition of new restrooms and a kitchen.

LIGHTING AND ELECTRICAL

An Electrical Engineer will need to be engaged to analyze the existing building loads and existing service to the site. Note: An additional electrical panel was added to the building to allow for separate monitoring of heating loads versus other power usage. Other electrical recommendations include:

- Retrofit existing light fixtures with new LED bulbs.
- New exterior site lighting, potentially at the handrails to provide a safer, easily identified means of egress.
- Install automated daylighting controls on interior lighting systems to ensure adequate indoor lighting and allow for energy-saving use of daylighting.

EXPLORE THE USE OF RENEWABLE ENERGY

Consider the long-term solution of self-producing energy from a Solar Array:

- Reduce heating and electric costs.
- Potentially the two side wing roofs would be areas where panels would be minimally visible from the public right of way. These two side wing roofs would be optimal for Solar Orientation as both have prominent Southern facing surfaces.

FUTURE HVAC EVALUATION

The existing strategy for providing heat to the building is through inefficient electric base board heaters. A comprehensive strategy for improving the efficiency of this strategy should only be considered in conjunction with upgrades to the building thermal envelope (ie.... more insulation).

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE II - INTERIOR RESTORATION

c) NEW PROGRAMMATIC ELEMENTS

ASSESSMENT

Prepare for future building uses by working with the Architecture/ Engineering (A/E) team to include new programmatic elements for the facility. Reference the Asset Mapping and Design Charrette Report by Partners for Sacred Places as a guide.

RECOMMENDATIONS

INCORPORATE A KITCHEN

Work with the A/E Team to determine potential new building electrical loads and water demands based on usage demands and kitchen equipment sizes.

INCLUDE A JANITOR CLOSET

A dedicated space for a mop sink and cleaning supplies that has limited access to maintenance staff only. This can be used as a storage space for all larger cleaning items including the mop bucket, a ladder, vacuum cleaner, and should include adequate shelving.

SINGLE-OCCUPANCY RESTROOMS ON BOTH LEVELS OF THE BUILDING

If the goal is to have separate events happening simultaneously on the Lower Level and the Upper Level, it would be beneficial to have Restrooms on both levels. The A/E team shall perform a Plumbing Fixture count based on occupant load and the current IBC regulations to confirm the actual number of water closets and lavatories that are required.

IDENTIFY AN AREA ON THE MAIN LEVEL FOR A WELCOME DESK / BOX OFFICE

Near the entry into the Sanctuary Space and adjacent to the new Elevator would allow everyone the opportunity to easily identify and access the Welcome Desk.

PARALLE INES

BUILDING ASSESSMENT AND RECOMMENDATIONS

BUILDING ASSESSMENT AND RECOMMENDATIONS

PHASE III - SITE IMPROVEMENTS

a) PARKING

ASSESSMENT

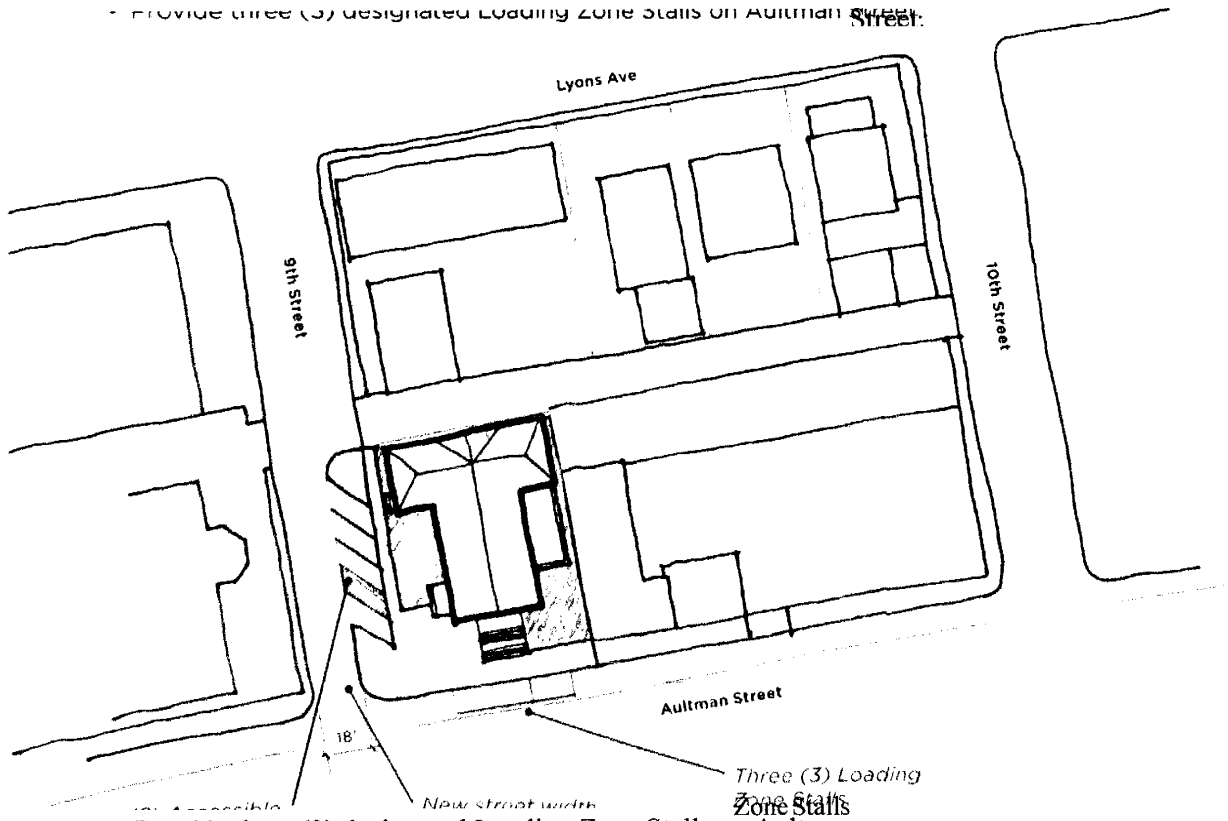
No off-street parking is currently available. The building is located adjacent to Aultman Street, a main arterial, as well as White Pine Middle School, thus complicating vehicular issues due to increased traffic.

RECOMMENDATIONS

DESIGNATE ACCESSIBLE STREET PARKING

As vehicular traffic cannot currently turn onto 9th Street from Aultman Street, it may not need to accommodate the width of two lanes of vehicular traffic. This is beneficial in proposing diagonal parking along the East side of 9th street. Discuss with the City of Ely options to reconfigure the curb cut at the intersection of 9th and Aultman Streets as shown in the Sketch below to reinforce designated accessible street parking.

- provide two (2) Accessible Parking Stalls on 9th Ave.
- Provide three (3) designated Loading Zone Stalls on Aultman Street.



- Provide three (3) designated Loading Zone Stalls on Aultman

INES

BUILDING ASSESSMENT AND RECOMMENDATIONS

Two (2) Accessible Stalls, to accommodate
Four (4) Stalls Total

New street width Parking
diagonal parking

ACCESSIBLE STREET PARKING OPTION ON 9TH STREET

20

PHASE III - SITE IMPROVEMENTS a) PARKING

RECOMMENDATIONS (Continued)

STUDY OFF-SITE PARKING OPTIONS

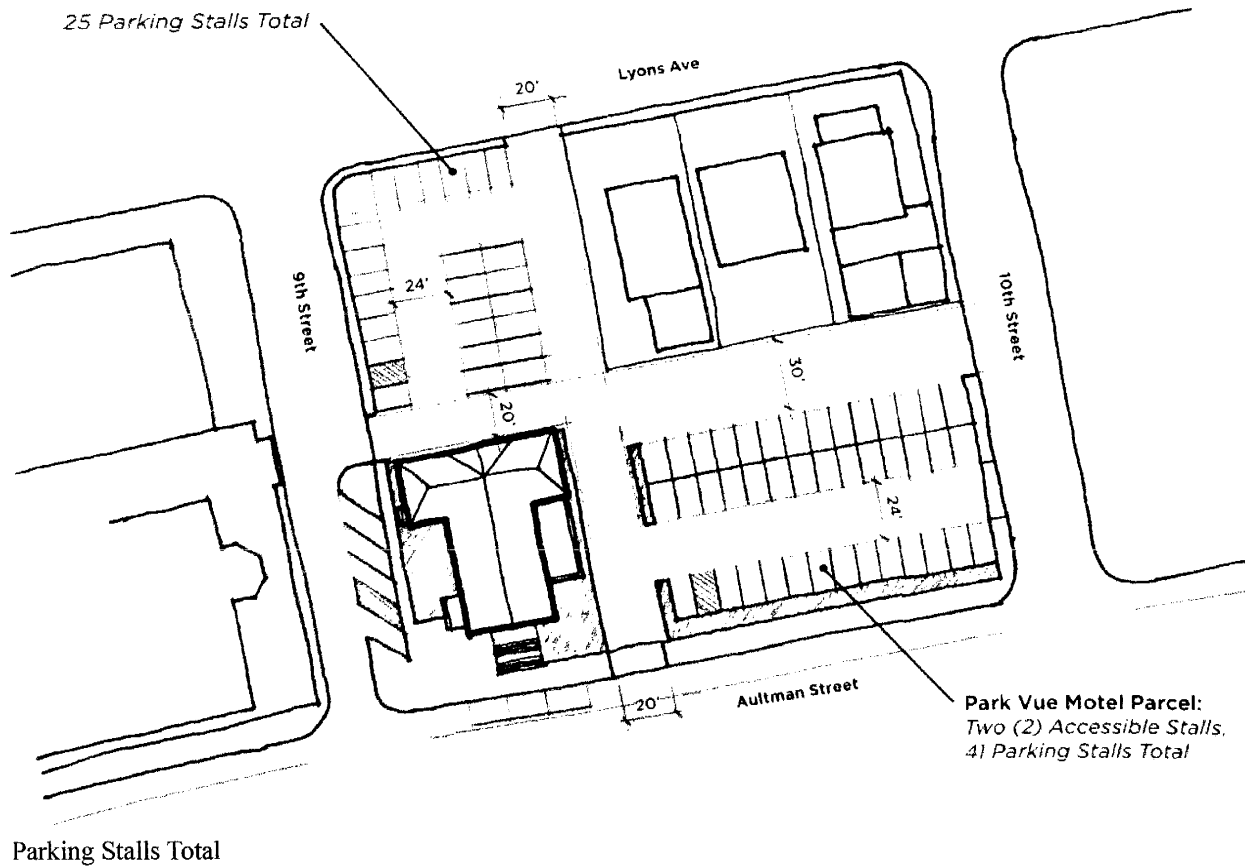
The following options examine potential parking directly adjacent to the building's site. These are intended as studies only, as both site locations are currently owned by others than the WPCCA, and have structures that would need to be demolished if WPCCA obtained ownership.

- Parking Feasibility Study: Park Vue Motel Lot • Parking Feasibility Study: North Lot

North Lot Parcel:

Two (2) Accessible Stalls,

BUILDING ASSESSMENT AND RECOMMENDATIONS



PARKING FEASIBILITY STUDY
 ON ADJACENT LOTS
 PHASE III - SITE IMPROVEMENTS
 b) LANDSCAPING

ASSESSMENT

The existing landscape consists of a grass lawn. This area is currently inaccessible to users of the building and the general public due to a metal hand rail surrounding the area.

RECOMMENDATIONS

NATIVE LANDSCAPING

Replace portions of the lawn with indigenous, drought tolerant plants that require less maintenance and water usage. The use of permeable paving for hardscape areas can help manage storm water run-off. A

INES

BUILDING ASSESSMENT AND RECOMMENDATIONS

Landscape Architect should be engaged to provide a plan suitable for Ely's climate zone and to address the WPCCA committee's concern with tree root damage to the foundation of the building.

STRATEGICALLY PLACE DECIDUOUS TREES

A few shade trees add value to a site by:

- Protecting the West Facade windows during summer months from direct solar heat gain, thus contributing to the energy efficiency of the building.
- Providing a cooler micro-climate on the site.
- Reinforcing the symmetry of the existing building.

INCLUDE AN EXTERIOR GATHERING SPACE

Across the street from the site is Courthouse Park. A few blocks away is St. Bartholomew's Memorial Garden. Down the road is the Labyrinth. All areas contribute to the greater Ely community by providing open spaces to gather.

By adding the Accessible Entrance, as shown in the sketch in "Phase I - c) Accessible Entrance / Access" of this report, an opportunity arises near the intersection of Aultman Street and 9th Street, the most prominent corner of the site. An insertion of a small scale plaza assists in identifying the building's Accessible Entry and defines a meeting and mingling zone before and after building functions.

ATC Hazards by Location

Pattou

Search Information

Address: 910 E Aultman st, Ely, NV 89301, USA

7/24/2019

Coordinates: 39.24890000000001, -114.88854900000001

Elevation: 6417 ft

Timestamp: 2019-07-24T18:37:21.953Z
Eskdale

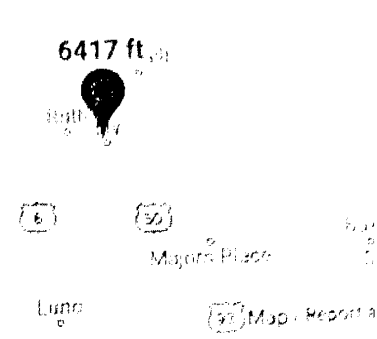
Hazard Type: Seismic

Duckwater

Reference ASCE7-16 Googleerror Report amap Document:

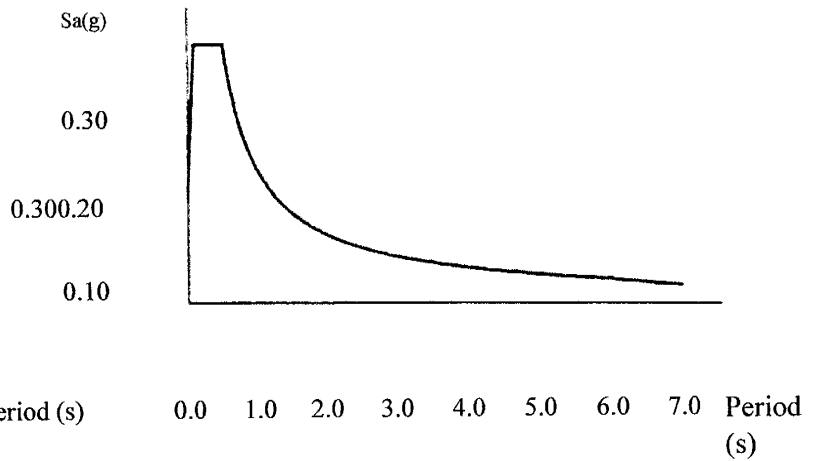
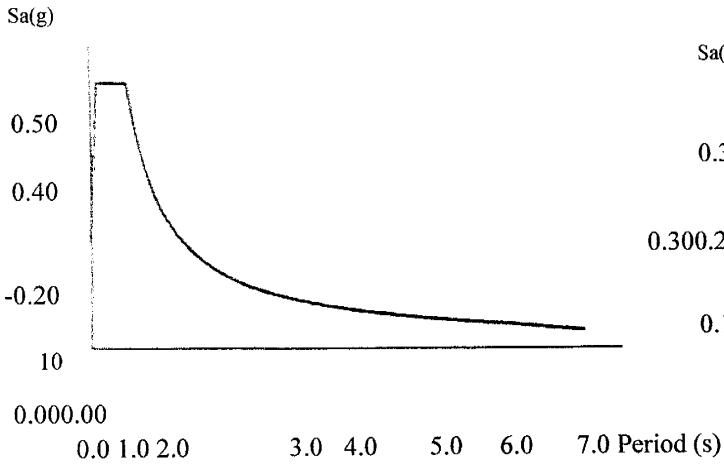
Risk Category: IV

Site Class:



MCER Horizontal Response Spectrum

Design Horizontal Response Spectrum



Basic Parameters

Name	Value	Description
	0.372	MCER ground motion (period=0.2s)
	0.125	MCER ground motion (period=1.0s)
SMS	0.559	Site-modified spectral acceleration value
	0.293	Site-modified spectral acceleration value
SDS	0.373	Numeric seismic design value at 0.2s SA
SDI	0.195	Numeric seismic design value at 1.0s SA

•Additional Information

Name	Value	Description
------	-------	-------------

SDC Seismic design category

F_a 1.502 Site amplification factor at 0.2s

F_v 2.351 Site amplification factor at 1.0s

PARALLEL LINES

APPENDIX REHABILITATION RECOMMENDATIONS REPORT

Old LDS Tabernacle, Ely, Nevada

Rehabilitation Recommendations and Suggested Program of Activities

The following discussion summarizes our observations based on the site meeting held November 14, 2017.

Goal and Site Visit Intent — The Tabernacle is owned by a local choir group in Ely. Ely is a mining town and has numerous historic resources. The Tabernacle is virtually intact on both the exterior and interior. Architecturally most of the historic fabric remains intact. This site visit is to do a quick condition assessment of the building and observe the general condition. Then to suggest a set of activities for its restoration. The building is currently in use for the choir and several other community uses. Ownership appears to be with a non-profit group. The building is listed on the National Register of Historic Places.

First Aid — In preparation of the upcoming winter it is necessary to weatherize the building. This involves patching the roof as needed and fixing or replacing the eave boards at the edges of the roof to keep the weather, as well as the pigeons, out. The building interior is in generally good condition—and it is important to keep the water and snow from entering the building. Site water flow should be corrected where the water flows to the base of the building.

Phase I — Planning and Weatherization — The first phase of rehabilitation is seismic retrofit and a new roof covering. The first phase of the seismic work can be accomplished from the roof and is most economical when integrated with a new roof covering. At that time the chimney should be braced and the gables strengthened.

A study of use options should be conducted. This should include any income generating activities that might use the building. Then an architectural programming options plan developed. There are many rooms in the building that may have a use other than storage. The plan should include access design per ADA standards. Access should be considered from the street (parking place) and on to an entrance. An elevator may be necessary to access all floors.

Phase II — A major element is exterior restoration. The building is in good condition. Some repointing is necessary to repair brick cracks. Also the cast stone around the doors should be stripped of paint and repaired if necessary.

Phase III — Interior restoration should go along with the exterior work. Obviously the plan should develop the building to be used for a number of community purposes and discussed above. Interior work will include a rational, conforming, exit system, building accessibility, and interior restoration.

Mel Green, Structural Engineer/Historic Preservation
Melvyn Green & Associates, Inc
3868 Carson Street, Suite 300
Torrance, CA 90503
Tel: 310/792-9252

Organizational Information

1. Articles of Incorporation
2. Mission Statement and History
3. WPCCA Board Members
4. Long Range Plans
5. Report of CCCHP Grants
6. Grants and Additional Funding

FILED
IN THE OFFICE OF THE
SECRETARY OF STATE OF THE
STATE OF NEVADA

JUL 3 1986

1201 BNA SECRETARY OF STATE

FILING FEE: \$15.00
(NON-PROFIT)
BY: GARY D. FAIRMAN
P O BOX 5
ELY, NEVADA 89301

1 *Gary D. Fairman*
2 4665-86
3 **ARTICLES OF INCORPORATION**

4 OF

5 **THE WHITE PINE COMMUNITY CHOIR ASSOCIATION**

6 The undersigned, citizens of the United States and
7 residents of the State of Nevada, having incorporated themselves
8 for the purpose of organizing and conducting a non-profit corpora-
9 tion under the provisions of the Nevada Revised Statutes, Sections
10 81.350 to 81.400, inclusive, do hereby certify:

11 ARTICLE I

12 The name of this Corporation shall be The White Pine
13 Community Choir Association.

14 ARTICLE II

15 The Corporation shall operate as a non-profit corpora-
16 tion organized for the purpose of advancement of the expression
17 of music and further the fine arts in the community, in furtherance
18 of the advancement of civic and ~~commercial interests of Ely, White~~
19 Pine County, State of Nevada.

20 ARTICLE III

21 The principal office of the Corporation shall be in
22 the County of White Pine, State of Nevada.

23 ARTICLE IV

24 The management, operation and conduct of the Corporation
25 shall be vested in the Board of Trustees. The Trustees shall
26 have the power to adopt and make by-laws and such other powers
as are authorized by law. The Trustees shall be elected in
accordance with the by-laws. The Board of Trustees shall be

LAW OFFICES
GARY D. FAIRMAN & DAN L. PAPEZ
A PROFESSIONAL CORPORATION
737 AVENUE G - P. O. BOX 8
ELY, NEVADA 89301
(702) 299-4422

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1 composed of five (5) Trustees. Four (4) of the Trustees' terms
2 of office shall be for one (1) year.

3 ARTICLE V

4 At the first regular meeting of the Board of Trustees
5 after January 1, of each calendar year, the Board shall elect
6 from its number, a President, Vice-President and Secretary-Treasurer.
7 A majority of these officers shall constitute a quorum and may,
8 during the recess of the Board of Trustees, exercise all or any
9 of the powers of the Board of Trustees.

10 ARTICLE VI

11 The names and addresses of the First Board of Trustees
12 are as follows:

13	<u>NAME</u>	<u>ADDRESS</u>
14	LOIS BLACKHAM	<u>1590 Mill St. Ely, NV.</u>
15	G. NORMAN CHRISTENSEN	<u>Box 813 Ely NV 89301</u>
16	DALE MILLER	<u>Box 544 ELY, NEVADA. 89301</u>
17	BARLOW WHITE	<u>849 Canyon St. Ely, NV</u> <u>Barlow N. White</u>
18	MARY HARRISON	<u>28 Elgin Dr Ely, NV</u>

19 ARTICLE VII

20 The Corporation shall have the following powers:

21 I.

22 To receive, acquire, hold, manage, administer and expend
23 property and funds for the general and specific purposes of the
24 corporation.
25
26

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II.

To take property by will, gift or otherwise for the general and specific purposes of the corporation; but if the donor shall specify the use of the property it shall be used for that purpose only.

III.

To hold, in its own name and right, real and personal property of every nature and description without limitation as to extent, character or amount and with all the powers of control, management, investment, change and disposal incident to the absolute ownership of property or funds by a private person, subject only to the terms of any particular trusts.

IV.

To borrow money, either upon or without security, giving such promissory notes or other evidences of indebtedness and such pledges, mortgages or other instruments of hypothecation as it may be advised.

V.

To appoint and pay officers and agents to conduct and administer the affairs of the corporation, but no member of the board of trustees shall receive any compensation.

VI.

To adopt by-laws prescribing the duties of the officers and agents of the corporation, the detail of the organization, the time and manner of its meetings, and any and all detail incident to its organization and the efficient conduct and management of

1 its affairs.

2 VII.

3 To do any and all things which a natural person might
4 do necessary and desirable for the general purpose for which the
5 corporation is organized.

6 IN WITNESS WHEREOF, we have hereunto set our hands
7 and seals, and executed these presents, this 13 day of
8 JUNE, 1986.

9 Dale V. Miller

10 Lois E. Blackham

G. Norman Christensen

Barlow N. White

11 Mary Harrison

12 STATE OF NEVADA,)
13 : ss.
14 County of White Pine.)


15 On this 13 day of JUNE, 1986, personally
16 appeared before me, the undersigned, a Notary Public in and for
17 the County of White Pine, State of Nevada, LOIS BLACKHAM, G. NORMAN
18 CHRISTENSEN, DALE MILLER, BARLOW WHITE and MARY HARRISON, known
19 to me to be the persons described in and who executed the foregoing
20 Articles of Incorporation, who acknowledged to me that they executed
21 the same freely and voluntarily and for the uses and purposes
22 therein mentioned.


23 IN WITNESS WHEREOF, I have hereunto set my hand and
24 affixed my official seal the day and year in this certificate
25 first above written.
26

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Notary Public in and for the
County of White Pine, State


GARY D. FAIRMAN
Notary Public - State of Nevada
White Pine County, Nevada
Commission Expires Feb. 21, 1988

Mission Statement

The mission of the White Pine Community Choir Association is to restore the historic facility known as the Centennial Fine Arts Center, and to provide the community with this facility to use as a gathering place and as a place where the arts, business, and educational development will be encouraged.

History

The Choir was founded in 1962 by Father Charles L. Poole, St. Bartholomew Episcopal Church. Charter members were Lois Blackham, Marge Ferrari, Thomas Bath, Dale Miller, Rosalie Miller, Ethel Tanner, Father Poole, Bill Knuckles, Nelly Finch, Wilma Willis, Blanche Zadow, Mary Ellett, and Minnis Alderman (Director).

From 1979 to 2017, the Choir performed three to four concerts a year. Its repertoire expanded to major works and sacred, secular, and patriotic compositions. In addition to its regular concerts, the Choir was invited for special performances, including rail fairs, several state conventions of various organizations, U.S. Centennial Field Mass, radiothons, inspirations, special church services and funerals, and Elder Hostel classes. The Choir was also invited to sing in Carnegie Hall, on European tours, and at the first National Choir Festival in Branson, Missouri, in 1998-1999.

After ten years of performances in the Episcopal and Methodist churches, the Choir outgrew the churches for audiences and members. The Choir performed in the Elks Hall for one season and then in the Bristlecone Convention Center until the mid-80s.

Now, its home is the Centennial Fine Arts Center (CFAC). After decades of focusing on singing and presenting concerts for the community, the Choir regrouped in 2018 to preserve the CFAC. The nearly century-old building showed its age with a leaking roof and crumbling masonry. With substantial interest from the community in restoring and renovating the building so it could serve White Pine citizens once again as a gathering place, the Choir has been leading these efforts ever since.

The WPCCA has completed the roof asbestos abatement and replacement, Phase One of the ADA access, and the foundation stabilization is underway. The choir has raised \$1,098,459 toward the restoration, with \$740,509 from grants and \$357,950 from public and private foundations, governments, businesses, and community members.

6. Board Members

Susan Wetmore, President – Experience in non-profit organization management, fundraising

William Wilson, Vice-President—A long-time choir member, Wilson has expertise in the county's history and completes routine maintenance.

Mary Eldridge, Secretary/Grants Director – 25 years of experience in non-profit management, federal and state grant writing and management, oversight of multi-million-dollar budgets

Lori Drew, Finance Officer – experience in tourism and recreation, management of multi-million-dollar budgets through employment with Bristlecone Convention Center and Nevada Department of Corrections

Holly Wilson – Long time choir member, community volunteer

William Holth – community volunteer, member of White Pine Main Street

Chris Christensen – experience in budgets, construction, engineering

Anthony Iturralde – experience in cultural and historical restoration; artist involved in Ely Renaissance Society and Village, Ely Mural Project

Lexie Brown – At-Large member, dance instructor

7. Long-Term Plans

The WPCCA has used the 2019 building assessment as a guide for restoration projects. Three of the five major projects from this document are completed or underway: the asbestos abatement and roof replacement, the ADA access, and foundation stabilization. The remaining projects are the window restoration and the exterior masonry repairs. These will be the following projects undertaken. Expert advice has encouraged us to complete the window restoration, and we have been in conversation with a company with historical building expertise to complete an assessment and a cost analysis. We have also obtained contact information for a company with the experience to complete the masonry work.

Upon completion of the exterior work, the WPCCA plans to hold another charette to begin planning the interior restoration. The charette will seek input from choir and community members and lead to hiring professionals to design the restoration, develop a timeline with specific projects, and guide future projects.

The long-term plans are discussed at the annual membership meeting, with projects prioritized in order of importance. Discussions continue at monthly meetings as new funding sources become available.

Organizational Activities

Activities since January 1, 2023

Monthly meetings of the WPCCA
Annual General membership meeting

Fundraising to supplement grant funds

Oversight of the CCCHP 19-20 ADA Access Phase One grant

Oversight of the asbestos abatement and roof replacement grant

Oversight of the CCCHP 21-22 Foundation Stabilization grant

Manning a booth at the White Pine County Fair to raise awareness.

Initiating a membership drive

Presenting programs on the CFAC to community organizations

Partnering with the Ely Film, Art, and Music Festival for the Red-Carpet opening night

Hosting the Fezziwig Ball

Attending White Pine Community Commission meetings seeking CDBG and other funding sources, supporting the county's participation in the EPA's Rural Desert Southwest Brownfields Coalition

CCCHP Grant Status

CCCHP 19-01 – The ADA access Phase One grant was completed in July 2023. Significant changes in project costs and supply chain issues due to the pandemic required the project to be split into two phases. Due to the delays in receiving materials, the WPCCA requested and was granted extensions. The CCCHP award of \$229,500 was expended along with \$146,252.60 from grants, foundations, businesses and community residents.

CCCHP 21-10 – The foundation stabilization project resulted in a greater scope of work than originally estimated. The WPCCA contacted SHPO and CCCHP and was granted additional funding to complete the project. The approval to move forward was received on March 6, 2024. The contractor is currently in the permitting process with the White Pine County Building Inspector, partially slowed by a change in inspectors.

FUNDING FOR THE CENTENNIAL FINE ARTS CENTER RAISED BY THE WHITE PINE COMMUNITY CHOIR AS OF 2-6-2024

Included in this funding summary are funds raised for three separate projects: the ADA access into the CFAC, the asbestos abatement and roof construction, and the stabilization of the southwest corner of the CFAC, plus funding for institutional projects such as the Building and Engineering assessment and the Section 106 investigation.

Tourism and Recreation grants	
Building and Engineering Assessment	\$ 13,000
Section 106 investigation	\$ 8,000
Roof project	\$ 12,000
Great Basin Heritage Area Partnership	
Architectural Design/ADA Access	\$ 20,000
Hardscaping/excavation/ADA access	\$ 20,000
Private Foundations	
Electrical Upgrades, site prep	\$ 25,000
Community members	
ADA access	\$ 11,000
Building assessment	\$ 5,000
Local business	
Electrical upgrades, site prep	\$ 19,000
City of Ely	
Elevator, electrical upgrades, seismic stabilization (elev.=\$35K, elec.=\$25K, seismic=\$20K)	\$ 80,000
NV State Historic Preservation Office	
CCCHP ADA access 19-20 Construct access, electrical upgrades	\$229,200
CCCHP SW corner stabilization 21-22	\$163,659
Brownfields/EPA Roof Grant	
Demolition, abatement, construction	\$206,350
White Pine County	
Roof, seismic stabilization (roof=\$95K, seismic work=\$80K)	\$175,000
NV Dept of Environ. Protection-asbestos abatement	
	\$ 68,000
Roof funds-June, 2023	
Mines,	\$ 500
EL Cord,	\$ 15,000
Choir members,	2,000

local	\$ 3,750
William and Holly Wilson	\$ 7,000
First National Bank of Ely	5,000
White Pine Main Street	10,000
TOTAL FUNDING TO DATE	\$ 1,098,459

Budget

1. Detailed Budget

2. Proposal from Schell Creek Construction

**NEVADA COMMISSION FOR CULTURAL
CENTERS & HISTORIC PRESERVATION (CCCHP)
GRANT APPLICATION**



NEVADA
**STATE HISTORIC
PRESERVATION OFFICE**

APPLICATION BUDGET

APPLICANT: White Pine Community Choir Association

1. Personnel: CCCHP Grant funds cannot be used to compensate personnel. Match is limited to work related to the grant project.

	Position Title	Hours	Hourly Rate (HR)	Does HR include fringe benefits?	% of HR that is fringe benefit	Amount of fringe benefit	Match (Non-CCCHP Grant)
a.							\$ 0.00
b.							\$ 0.00
c.							\$ 0.00
d.							\$ 0.00
e.							\$ 0.00
f.							\$ 0.00
g.							\$ 0.00
h.							\$ 0.00
i.							\$ 0.00
j.							\$ 0.00
						Sub-total:	\$ 0.00

2. Travel: CCCHP Grant funds only cover travel for contracted service providers. This can be companies or individuals. Travel expenses must follow U.S. General Service Administration (GSA) rates.

	Contracted service provider	Match	CCCHP Grant	Total Amount
a.	Schell Creek Construction - Per Diem		\$ 2,000.00	\$ 2,000.00
b.	Schell Creek Construction - Hotel/Lodging		\$ 3,000.00	\$ 3,000.00
c.	Schell Creek Construction - Drive/Travel Time		\$ 7,500.00	\$ 7,500.00
d.	Schell Creek Construction - Fuel		\$ 3,500.00	\$ 3,500.00
e.				\$ 0.00
f.				\$ 0.00
g.				\$ 0.00
h.				\$ 0.00
i.				\$ 0.00
j.				\$ 0.00
		Sub-total:	\$ 0.00	\$ 16,000.00

**NEVADA COMMISSION FOR CULTURAL
CENTERS & HISTORIC PRESERVATION (CCCHP)
GRANT APPLICATION**



NEVADA
**STATE HISTORIC
PRESERVATION OFFICE**

APPLICATION BUDGET Cont.

APPLICANT: White Pine Community Choir Association

4. Operating: List estimated operating expenses relating to the proposed project.

Note: CCCHP Grant funds cannot be used for administrative costs.

		# of	Rate	Flat Rate	Match	CCCHP Grant	Total Amount
a.	Photocopying						\$ 0.00
b.	Film and Processing						\$ 0.00
c.	Maps						\$ 0.00
d.	Postage						\$ 0.00
e.	Telephone						\$ 0.00
f.	Utilities						\$ 0.00
g.	Supplies (specify)						\$ 0.00
							\$ 0.00
							\$ 0.00
							\$ 0.00
							\$ 0.00
h.	Other (specify)						\$ 0.00
							\$ 0.00
							\$ 0.00
Sub-total:					\$ 0.00	\$ 0.00	\$ 0.00

5. Other (please specify or attach detailed budget):

		Rate	Match	CCCHP Grant	Total Amount
a.					\$ 0.00
b.					\$ 0.00
c.					\$ 0.00
d.					\$ 0.00
e.					\$ 0.00
f.					\$ 0.00
g.					\$ 0.00
h.					\$ 0.00
i.					\$ 0.00
Sub-total			\$ 0.00	\$ 0.00	\$ 0.00

**NEVADA COMMISSION FOR CULTURAL
CENTERS & HISTORIC PRESERVATION (CCCHP)
GRANT APPLICATION**



NEVADA
**STATE HISTORIC
PRESERVATION OFFICE**

APPLICATION BUDGET Cont.

APPLICANT: White Pine Community Choir Association

6. Section #1- 5 Subtotals:

		Match	CCCHP Grant	Total Amounts
1.	Personnel	\$ 0.00		\$ 0.00
2.	Travel	\$ 0.00	\$ 16,000.00	\$ 16,000.00
3.	Contractual Services	\$ 30,000.00	\$ 302,608.00	\$ 332,608.00
4.	Operating	\$ 0.00	\$ 0.00	\$ 0.00
5.	Other	\$ 0.00	\$ 0.00	\$ 0.00
	Sub-total	\$ 30,000.00	\$ 318,608.00	\$ 348,608.00

7. Requested CCCHP Grant Total: \$ 318,608.00

8. Potential Match: \$ 30,000.00

9. Proposed Project Costs Grand Total: \$ 348,608.00

Note: For assistance with completing the budget, please refer to the CCCHP Grant Handbook.

Topics

- Match
- Procurement of Goods, Services, & Contracts

Forms

- Value of Donated Material
- Value of Donated Equipment
- Value of Donated Labor

Revised Completion Budget 4/22/24

COST COD	SPECIALTY	Revised Budget	NOTES
01 - General requirements			
17-010	Contingency	\$10,500.00	
17-020	Liability Insurance	\$5,348.00	
17-025	Builders Risk	\$15,000.00	
17-030	Bond	Not Required	
01-010	Project Manager	\$6,200.00	
01-012	Superintendent	\$22,000.00	
01-209	Plans	\$400.00	
01-210	Permit fees	\$3,995.00	Allowance Based On \$348,000.00
01-211	Fire Plan Review	\$1,430.00	Allowance Based On \$348,000.00
01-213	Special Inspections	Not Included	
01-213	Testing	\$0.00	
01-351	Per Diem	\$2,000.00	
01-352	Hotel/Lodging	\$3,000.00	
01-353	Drive Time	\$5,000.00	
01-354	Fuel	\$3,500.00	
01-355	Travel Time	\$2,500.00	
01-452	Scaffolding	\$0.00	
01-504	Dumpster/Landfill	\$5,000.00	
01-523	Sanicut	\$2,200.00	
	Barricades	\$0.00	
01-513	Temp Utilities - Power	\$1,500.00	
01-513	Temp Utilities - Temp Heat	\$0.00	
01-741	Progress clean up	\$7,800.00	Plastic, floor protection, wall protection
01-742	Final Clean up	\$2,000.00	3 guys 1 week
01-999	General Labor	\$0.00	
01-507	Mobilization/Demobilization	Not Included	
01-510	Demolition	\$6,000.00	
02-000	SITWORK		
02-316	Backfill & Compaction	Not Included	Completed In Phase 1
	Compactor	Not Included	Completed In Phase 1
	skid steer	Not Included	Completed In Phase 1
	Mini-ex	Not Included	Completed In Phase 1
	Fuel	Not Included	Completed In Phase 1

02-315	Excavation	Not Included	Completed In Phase 1
02-324	Type II Base	Not Included	Completed In Phase 1
	Sidewalk ex/base	Not Included	Completed In Phase 1
02-500	Utility Work	Not Included	Completed In Phase 1
03-000	General Concrete		
03-103	Foundation	Completed Phase 1	
03-106	Concrete sidewalk	Completed Phase 1	
05-000	General Metals		
05-105	Handrail		\$3,500.00
	Install handrail		\$1,560.00
06-050	Basic Wood and Plastic Materials and Methods		
06-100	Framing		\$7,500.00
			\$13,200.00
06-0150	Framing Materials	Completed Phase 1	
		Completed Phase 1	
06-999	Rebuild Choir stand 3rd floor		\$3,500.00
06-999	Framing Labor	Completed Phase 1	
07-050	Basic Thermal and Moisture Protection Materials and Methods		
07-200	Insulation	Not Included	
08 - Doors & Windows			
08-100/11C	Doors	Completed Phase 1	
08-999	Doors Interior Labor	Completed Phase 1	
08-100/11C	Doors (added closers)		\$6,400.00 Added costs for revised door package per plan changes
09 - Finishes			
09-100	Drywall		\$16,375.00 revised to add ceiling sheet rock
09-600	Flooring		\$6,600.00 Preliminary budget pending any existing floor damaged during construction
09-101	Finishes		\$7,800.00 refinish wood flooring in elevator lobby lower and upper level floor
09-100	Stu Brick Veneer	Completed Phase 1	
09-900	Paints & Coatings		
09-900	Painting		\$14,500.00 Paint Int walls and ceil in new TI Ares
11000 - Equipment			
14-200	Elevators		\$51,550.00
15 - Mechanical			
15-100	Plumbing		\$4,975.00 Sump pump
15001-HVAC			
15-700	HVAC, Mechanical		\$7,200.00 1 ton mini split option

15-700 HVAC, Mechanical Not Needed 3 ton mini split option

16000 - Electrical

16-100 Electrical \$66,650.00

Subtotal \$316,683.00

17-045 Admin and Overhead \$31,925.00

TOTAL \$348,608.00

Audit Information

Budget Part B. Audit

The White Pine Community Choir Association does not have an audit report. We are a small non-profit focused on restoring the Centennial Fine Arts Center, and the expense of an audit would deter us from our mission.

The WPCCA board is aware of the fiscal responsibilities we undertake by accepting grant funds. We have taken steps to use the expertise of our members and implement a system of transparency.

Our Finance Officer, Lori Drew, has over 20 years of experience managing government funds through her employment at the Bristlecone Convention Center and the Nevada Department of Corrections, Ely State Prison. In the NDOC position, she managed a budget of \$63,000,000.00. She is experienced with the choir's QuickBooks software and prepares financial reports for each meeting. All revenues and expenses have supporting documentation. All checks require two signatures.

In addition, the Grants Director has 25 years of experience overseeing a multi-million-dollar Department of Health and Human Services grant. This has included financial reporting to the board of directors and filing required financial reports as required by the funder. She has been treasurer of a local business since 1989.

Insurance

COMMON POLICY DECLARATIONS

MESA UNDERWRITERS SPECIALTY
 INSURANCE COMPANY A Stock Company
 40 Wantage Avenue, Branchville, NJ 07890

Policy Number: MP004100500264502

Previous Policy Number: MP004100500264501

New Renewal Rewrite

Policy Period: From 01/11/2024 To 01/11/2025 at **12:01 A.M.** Standard Time at your mailing address shown below.

Named Insured:
 WHITE PINE CHOIR ASSOCIATION

DBA:

Mailing Address:
 910 E Aultman St

Ely NV 89301

Agent and Mailing Address: Agent Number: 41005
 41005-Appalachian Underwriters, Inc.
 PO Box 800
 Oak Ridge TN 37830

Tax State: NV State Control Number (NJ & PA):

Surplus Lines Broker Name: Surplus Lines Broker Number:

This insurance contract is issued pursuant to the Nevada insurance laws by an insurer neither licensed by nor under the supervision of the Division of Insurance of the Department of Business and Industry of the State of Nevada. If the insurer is found insolvent, a claim under this contract is not covered by the Nevada Insurance Guaranty Association Act.

Form of Business

- Individual Joint Venture Partnership Limited Liability Company Corporation
 Organization (other): NOT FOR PROFIT ORG

Business Description:

Building or Premises - Bank or office - Merc or Mfg.-Maintained by insured - LRO other tha

Select Coverage Part (for which insurance is being afforded)

<input checked="" type="checkbox"/> Commercial General Liability		\$	515.00
<input type="checkbox"/> Liquor Liability		\$	
<input type="checkbox"/> Owners & Contractors Protective		\$	
<input type="checkbox"/> Commercial Property		\$	
<input type="checkbox"/> Commercial Inland Marine		\$	
<input type="checkbox"/> Commercial Crime		\$	
<input type="checkbox"/> Farm & Ranch		\$	
<input type="checkbox"/> Auto Dealers		\$	
<input type="checkbox"/> Other (Describe)		\$	
<input type="checkbox"/> TRIA		\$	
Policy Taxes and Fees			
Surplus Lines	\$21.53		
Stamping Fee	\$2.46		
Policy Fee	\$100.00		
	Total Advance Premium	\$	515.00
	Total Other Charges	\$	123.99
	Total	\$	638.99

Premiums Shown are payable at inception or as indicated on the individual Coverage Declarations.

Form(s) and Endorsement(s), including edition dates, made a part of this policy at the time of issue: See Schedule of Forms

01/29/2024
 Date

By: _____
 Authorized Agent

Resumes

Budget Part D. Resumes

Susan Wetmore, President, WPCCA

Susan Wetmore has been a member of the White Pine Community Choir Association (WPCCA) since 1997. She served as secretary from July 2018 to January 2022 and as president since then. She has also been instrumental in writing grants and exploring funding possibilities for the Centennial Fine Arts Center renovation projects.

She has a master's degree in elementary education from the University of North Carolina and worked as a White Pine County School District teacher for 24 years. She also served in leadership positions in the local classroom teachers' association and retired in 2006.

Susan was the bookkeeper for the Great Basin Heritage Area Partnership from 2007 to 2021.

Lori Drew, Financial Director, WPCCA

Lori Drew has extensive experience in financial operations through her employment at the Bristlecone Convention Center and, most recently, as an Administration Analyst overseeing the budget planning, management, and analysis of the \$63M operations at the Ely State Prison. She has also been involved in the Great Basin Heritage Area Foundation.

Mary Eldridge

Mary Eldridge became WPCCA's Grants Director in Fall 2021 and was elected Secretary in January 2022. Ms. Eldridge served 25 years as Director of Ely's Head Start program. Responsibilities included writing and oversight of federal and state grants. During her tenure, she managed the construction of three facilities.

Gerald H. (Jerry) Ricci – Owner/President, Schell Creek Construction

In 1988, Jerry Ricci founded Schell Creek Construction. Starting with a license limit of \$150,000, Jerry pursued any job, including digging post holes, building fences, home remodels, additions, and concrete work. Eventually, these projects led to larger projects such as custom homes and commercial work. At present, Schell Creek Construction continues doing small jobs as well as a variety of larger commercial projects, office complexes, convenience stores, restaurants, remote weather stations, information centers, dentist offices, medical offices, bar and grills, custom homes, water pump stations, and much more.

Schell Creek Construction now has a license limit of \$7,000,000 and has completed construction projects for various mining and mining supply companies, including Silver King Mine, Robinson Bald Mountain Mine, Cortez Gold, Amselco, Kennecott Copper, Quadra Mining, Atlas Copco, Wheeler Machinery. Other entities include Sierra Pacific

Power Company, ATT, Nevada Department of Transportation, Nevada Department of Public Works, City of Elko, and Frontier Communications. The company's most recent construction projects include the Performance Athletic Club, the East End Mall, and the Cowboy Arts and Gear Museum in Elko, Nevada.