


NEVADA COMMISSION FOR CULTURAL CENTERS & HISTORIC PRESERVATION (CCCHP) GRANT APPLICATION

	NEVADA STATE HISTORIC PRESERVATION OFFICE	<i>SHPO Use Only</i>
Initials: <u>CC</u> Received: <u>4-29-24</u>		
Postmarked: <u>N/A</u> Delivery Svc: <u>Hand Delivered</u>		

APPLICATION COVER PAGE This unaltered form must be submitted as the cover page for the application. Do not staple or bind application documents.

Grant Cycle Year(s) 2024

Applicant Organization: FIRST PRESBYTERIAN CHURCH OF CARSON CITY (FPCCC)
 EIN (Taxpayer Identification Number): 88-0097655
 Mailing Address: 306 West Musser Street
 City: Carson City County: Carson City ZIP: 89703
 Project Contact: Grace Speicher Title: Project Manager
 Daytime Phone: 406-431-9073 Evening Phone: 406-431-9073
 Fax: _____ Email: spikr54@hotmail.com

Historic Property Name: First Presbyterian Church (Original) Date Built: 1864
 Property Owner Name and Address: First Presbyterian Church of Carson City, 306 W. Musser, Carson City 89703
 Project Address: 110 North Nevada Street
 City: Carson City County: Carson City ZIP: 89703
 Property Insured: Yes; please enclose one copy of policy No; please explain: _____

Project Title: OLD SANCTUARY PRESERVATION
 Project Type: Rehabilitation/Construction Planning/Construction
 Architectural/Engineering Study/Construction

Project Synopsis (Brief):
 Our plan is to restore the original Historic First Presbyterian Church Old Sanctuary building to its grandeur, creating a gathering place for residents of Carson City to use and enjoy, and to instill an appreciation for Nevada History. The original sanctuary was completed in 1864 with the bell tower added in 1896. We request funding to Repoint the exterior of the two-story Bell Tower as the first phase of a multi-phase restoration plan.

Proposed Start Date: 03/15/25

Proposed End Date: 05/30/25

Project Budget Summary:	
Amount Requested:	<u>117850</u>
Proposed Match:	
Cash:	<u>42000</u>
In-Kind/Donations:	
Total Project Budget:	<u>159850</u>
If Applicable, Minimum Amount Requested _____	

 Applicant's Authorized Signature*
Name: <u>Linda Ritter</u>
Title: <u>Secretary-Treasurer</u>
Date: <u>04/28/24</u>

***Sign in blue or black ink. Application packets without original signatures will be considered incomplete.**

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APPLICATION COVER PAGE Cont.

Handbook Verification Form

- I HAVE READ THE CCCHP GRANT HANDBOOK, AND
- I HAVE COMPLETED THIS CCCHP GRANT APPLICATION, AND
- I CERTIFY THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

A handwritten signature in blue ink, appearing to read "Linda Ritter", written over a horizontal line.

Applicant's Authorized Signature*

Name: Linda Ritter

Title: Secretary-Treasurer

Date: 4/28/2024

*Sign in blue or black ink. Application packets without original signatures will be considered incomplete.

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APPLICATION COVER PAGE Cont.

Application Checklist

Directions: Assemble the application in the following order and initial in blue or black ink on the lines to confirm that each of the required components are included in the application package.

1. Cover Pages

- Application Cover Page
- Handbook Verification Form
- Application Checklist

2. Project Narrative

- A. Questions (No more than 5 pages)
- B. Supplemental Material
 - A paragraph (200 words maximum) describing the current or intended future use of the property and cultural center programming.
 - County Assessor print out showing the current owner of the property with the APN number
 - Photographs of all exterior elevations with views and all major rooms and project rooms, identified and keyed to a site plan
 - Organization's information including:
 - Articles of incorporation, mission statement, length of time established, and history
 - A list of current board members
 - Long-range plan including information on how frequently the plan is updated
 - If applicable:
 - A list of activities for the past fiscal year
 - A detailed report on current CCCHP grant status as well as the outcome of previous CCCHP grants
 - A current list (last three years) of all grants and additional funding, including amounts the organization has or will receive

3. Budget

- Detailed Budget
 - Completed Budget Form
 - Attached itemized lists and/or contractor quotes that break down labor and material costs
- Audit
 - Most recent audit for the organization. If there is no audit, provide an explanation of why an audit was not completed and how bookkeeping is managed.
- Insurance
 - Proof of insurance for the property or a justification for why there is no insurance
- Resumes
 - All principal professionals involved in planning, design and management of the proposed project

 Initial to confirm that the applicant understands that applications lacking any of the required information listed above are ineligible for review by the Commission.

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APPLICATION TABLE OF CONTENTS/ASSEMBLY

1. Cover Pages (3 Pages)

2. Project Narrative
 - A. Part A Questions (5 Pages)
 - B. Part B Supplemental Material (3 Pages)
 1. Attachment 1 – Site Plan (2 pages)
 2. Attachment 2 – Project Pictures for 2-Story Bell Tower (2 Pages)
 3. Attachment 3 – Other Old Sanctuary Pictures (3 Pages)
 4. Attachment 4 – Articles of Incorporation (3 Pages)
 5. Attachment 5 – Building Studies, Melvyn Green & Associates Seismic Study (22 Pages)
 6. Attachment 6 – Abstract Masonry restoration bid for repointing Bell Tower (4 Pages)

3. Budget
 - A. Application Budget (4 pages)
 - B. Attachment 7 - Audit (2 Pages)
 - C. Attachment 8 – Insurance (8 Pages-2 Sided)
 - D. Attachment 9 -Resumes Resumes for Melvyn Green & Associates Old Sanctuary Seismic Report, Abstract Masonry (Repointing Bell Tower Contractor), and Grace Speicher, Project Manager (2 Pages)

Application Part 2: Narrative Description PART A

April 29, 2024

1. Project Description.

What building(s), prehistoric feature, historic feature, or culturally significant feature are you restoring/ rehabilitating?

We plan to restore the original Historic First Presbyterian Church Old Sanctuary building to its grandeur creating a gathering place for residents of Carson City to use and enjoy. This historic building was completed in 1864 with the bell tower added in 1896. It is located at 110 North Nevada Street, Carson City. We request funding to **Repoint the exterior of the two-story Bell Tower** as the first phase of a multi-phase plan.

What is the historical significance of the property?

The sanctuary was designated an historical building in 1975 by the Carson City Historical Committee and the Board of Supervisors. It is on the walking tour of Carson City Historic places. The church was also listed on the National Register of Historic places as part of the West Side Historic District in 2011 and on the Presbytery's Reformed Historical Registry #285.

How do you propose to restore/rehabilitate it?

Our goal is to begin restoration by retrofitting for seismic safety to reduce the seismic risk the building poses. We plan to accomplish this in a phased improvement program that could be integrated with other repair and improvement activities. ***This funding request is for the first phase designed to Repoint the two-story tower. Under this proposal recommended by Mel Green of Melvyn Green & Associates, we will repoint the exterior of the bell tower. The work will be performed by Abstract Masonry.***

The existing building is unreinforced brick masonry. The original brick was a soft red clay brick. By the 1940's the bricks began to deteriorate rapidly. The brick exterior was then painted an off-white and in 1982 a light green. We plan to restore the masonry to the original soft red, using specialty historic masonry paint stripping and cleaning solutions to strip off the masonry on the historic tower. Deteriorated mortar joints on the historic tower will then be removed and repointed.

Other phases for the restoration not included in this funding request at this time include:

- Brace the tall walls at the gable ends of the building, bracing all parapets.
- Install wall anchors to connect the walls to the roof and to the second floor. This occurs at all brick walls.
- Install a framework in the tower to brace it and convey lateral loads to the ground.
- Strengthen the 'short ' wall separating the old sanctuary from the two-story section.
- Brace the tall walls at the gable ends of the building, bracing all parapets.
- Evaluate footings and floor.

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Who will be doing the work?

Melvyn Green of Melvyn Green & Associates, Inc., with expertise in Structural Engineering, Architectural Preservation and Materials conservation has and will continue to provide assistance in developing the seismic retrofitting project.

Abstract Masonry Restoration. We plan to work with Abstract Masonry to **repoint the exterior of the 2-story Bell Tower**. Abstract Masonry specializes in historic masonry restoration including an advanced understanding of masonry material science, historic construction methodologies combined with extensive experience. They have completed more than 1,600 masonry restoration projects including restoration projects such as; *Mormon Tabernacle, General Robert E Lee Civil War Headquarters, Utah State Capitol Building & Fallingwater* (Frank Lloyd Wright's masterpiece in Western Pennsylvania).

What is the timeline for the project?

We estimate the project will take 4-8 weeks. Work will begin when the contractor is available to start after funding is available.

Who holds title to the property?

First Presbyterian Church of Carson City, 306 Musser Street, Carson City, Nevada (Main Administrative Office). Please note the Old Sanctuary address at 110 North Nevada Street and the Sanctuary at 115 North Division Street are associated addresses.

Building Use/Community Involvement

How and by whom will the facility be used?

We see this facility as a gathering place for concerts, meetings, training events, art exhibitions and performing arts. Visitors will continue to have access on the Historic Walking tours.

Who will be responsible for management of the building and its programs/activities?

All responsibility for the church, both spiritual and corporate is vested under the leadership of Session, comprised of active Elders and Pastors. Responsibility through the Corporate entity is the Chairman of the Board of Trustees of the First Presbyterian Church of Carson City, Nevada and successors, a Corporation. The Entity number is CS112-1960 and Nevada Business ID is NV19901007679.

How has the community been involved in your project?

Preservation of the Old Sanctuary is supported by our Elders and congregation. Donations from both church and community members have invested in the preservation of this historic building and enthusiastically attended our fund-raisers. First Presbyterian Church is also on the Carson City Historic Walking Tour. Many people walking by are very interested in seeing this building.

How are your restoration/rehabilitation plans related to the uses of the building?

We are excited to open this beautiful sanctuary for the enjoyment of the Carson City Community and as a draw to Carson Valley residents and visitors. Without the retrofitting of the Old Sanctuary we are not

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able to actively utilize the building and fully share the wonderful history and beauty of this historic building.

What importance to tourism (cultural or otherwise) will the facility have?

First Presbyterian Church Old Sanctuary with its strong connection to the community and its historic significance as one of the oldest churches in the State of Nevada as well as the churches connection with Orion Clemens and his brother Mark Twain will be a must see for any tour of Carson City. The Old Sanctuary features an historic bell tower and eight beautiful stained- glass windows inside the sanctuary. We are told another stained-glass window may yet be uncovered behind a dry wall inside the building.

2. Project Support/Financial

What specific contributions (cash, land, labor, materials, etc.) have been provided toward the project from the community and/or other sources?

For many years, the church has wanted to restore the Old Sanctuary, realizing its historic significance and sought out experts initially on Seismic retrofitting. In 2019, the idea to preserve our Old Sanctuary looked at ways to raise funds to begin this process. The volunteer committee began to think about fund-raising seeking donations and applying for grants because they realized it would take considerable funds. The preservation was approved by church Session, the governing body, with the consideration that no funds from the general fund would be used. So, fund raising began in 2020; we hold four to five events each year: the Chili Cookoff, a church garage sale, a Holiday Craft Fair, The Mark Twain Event with MacAvoy Layne, and this year a High Tea was added. Generous free-will donations have been received regularly from our congregation as well as memorial donations. The Carson City community has greatly supported our events. This is the first grant we have applied for. At the same time, the committee plans to explore additional grants from other sources , as well as SHPO Grants. To date we have raised \$177,562.92 from fund raisers, free-will offerings, and memorial donations.

Routine maintenance has been completed by volunteer labor, donated supplies, and some contract labor.

What grants and additional funding (last three years), including amounts, has the organization received or will receive for this project?

The SHPO Grant is the first grant we have applied for, although we intend to explore other grant opportunities. We have received donations from free-will offerings, donations, and Fundraising events. The funds are contributions to the Old Sanctuary Preservation Fund and are not specifically designated to a project. However, we plan to allocate up to \$42,500 for the Bell Tower repointing project for Lead Remediation and a contingency fund (see budget for detailed allocation).

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OLD SANCTUARY FINANCIAL SUMMARY BY YEAR			
Year	Income	Expense	Year end Balance
Year			
2020	\$7,772.75	\$420.38	\$7,352.37
2021	\$51,616.17	\$32,970.00	\$25,998.54
2022	\$68,478.57	\$7,844.80	\$86,632.31
2023	\$43,524.42	\$3,710.21	\$126,446.52
2024	\$6,171.01	\$0.00	\$132,617.53
Total	\$177,562.92	\$44,945.39	

What additional contributions are projected to complete the project?

We will continue to hold fund-raising events and funds from private donors. We are also looking at other grant opportunities and hope to continue our relationship in the CCCHP Grant Program. We project an average of \$30-40K per year based on past experience.

How will your facility sustain itself financially in the future?

First Presbyterian Church, Carson City has a long history of more than 161 years of providing a place of worship and outreach to the community. Both our church community and the Carson Valley community have supported the church and surrounding communities. We have further committed to this preservation and continue to raise funds and awareness of the historical significance of the beautiful Old Sanctuary. It is important to know that First Presbyterian Church, Carson City is currently debt-free.

Please provide evidence that you can implement the project and maintain a viable program in the future.

First Presbyterian Church has thrived in the community for more than 161 years, financially supporting staff and providing a number of services for residents of the community including Night off the Streets, Angel Tree, Circles of support, F.I.S.H., GraceWorks, Toastmasters, Northern Nevada donations from church and community. The Old Sanctuary has been receiving gradual and necessary facelifts to its interior and exterior with private donations over the last several years. To date, we have replaced the roof with plywood sheeting and composite shingles. Removing the layers reduced the overall weight of the roof and strengthened it with new sheeting. The two crumbling sets of stairs leading to the Old Sanctuary and the two-story addition were replaced(Heavy Duty Concrete), the railings have been sandblasted and powder coated, and the original granite slabs were reinstalled All this work was completed with experienced contractors. We are currently working with highly experienced professionals in historic restoration such as Melvyn Green of Melvyn Green & Associates. Mr. Green, is experienced in historical building preservation and has been working with us over the last several years. We will also utilize services of Abstract Masonry, who is highly experienced in historic restorations.

We continue to receive private donations and hope to supplement with grant resources.

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3. Planning

If your project includes planning, please describe the process.

We are not requesting funding for planning for this project/phase. However, we continue to utilize the services of Melvyn Green and Associates.

This project does not include a request for planning. We are requesting funding for the first of seven phases to repoint the exterior of the two-story Bell Tower of the First Presbyterian Church Carson City Old Sanctuary.

Who will participate in the planning?

While funding for planning is not requested in this funding cycle, the Old Sanctuary Preservation Committee with oversight from the church leadership (Session) responsible for all church buildings will continue to fine tune the plan in consultation with experts in historical preservation based on the 1996 Melvyn Green & Associates Report and updates.

Who will coordinate it? How will the community be involved? *Please note that projects requesting funds for planning may be supported only if the planning is part of a construction project.*

Funding for Planning is not requested in this grant application. However, coordination for planning is through the Old Sanctuary Preservation Steering Committee under the direction of church leadership (Session).

If your project is based on previous planning, please describe. Be sure to include all relevant studies and planning documents in the following supplemental materials section of the application, even if previously provided in another grant cycle.

See Attached planning/consulting and proposal information related to reducing seismic risk and strengthening the Old Sanctuary.

See Attachment 5 – Melvyn Green & Associates, Inc. – Seismic Rehabilitation Report and recommendations for First Presbyterian Church Carson City, Old Sanctuary Preservation,

See Attachment 6 – Abstract Masonry Proposal for Repointing the 2-Story Bell Tower

Application Part 2: Project Narrative B. Supplemental Material

April 29, 2024

Describe the current or intended future use of the property and cultural center programming.

We are delighted to share the Old Sanctuary, it's historic contribution and importance to Carson City and Nevada. We envision the Old Sanctuary to be a place for art exhibitions, meetings, concerts, educational events, and tours.

County Assessor print out showing the current owner of the property with the APN number

See Attachment 1. The APN # is 003-214-07. County Assessor Property Information

Photographs of all exterior elevations with views and all major rooms and project rooms, identified and keyed to a site plan

See Attachment 2 – Old Sanctuary two-story Bell Tower Photos (2 pages) for Grant Application Project

See Attachment 3 – Other Old Sanctuary Photos showing interior and exterior

Organization's information including:

Articles of incorporation

See Attachment 3 - Articles of Incorporation

Mission statement

Our Mission as God's people is to daily seek to respond in word and action to Jesus' great commission:

"Go therefore and make disciples of all nations, baptizing them in the name of the Father and of the Son and of the Holy Spirit, and teaching them to obey everything that I have commanded you. And remember, I am with you always, to the end of the age." Matthew 28:19-20

Length of Time Established, and History

The First Presbyterian Church Carson City was built in 1864 and is considered one of the oldest churches in the State of Nevada built while Nevada was still a territory. For more than 161 years, the historic First Presbyterian Church Carson City has been in continual service in the community, with its earliest worshippers holding their first meeting on June 2, 1861, at the Stone Schoolhouse (Carson City's first schoolhouse located at the northeast corner of Musser and Nevada Street - constructed of blocks from the Nevada State Prison Quarry).

In 1862 the Presbyterian congregation in Carson City started construction of a new church at the corner of King and Nevada Streets, just two blocks from the "public plaza". It was one of the first churches in town, built out of red clay brick meant to last for generations. But they ran into just one little snag – they ran out of money. So the sanctuary sat on the corner, unfinished, for a couple of years.

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One well known member of the congregation was Orion Clemens, who served as Secretary to the Territorial Governor Nye and was the church's first treasurer, an elder and trustee. Orion had come West with his brother, Samuel, interestingly along the Pony Express Route and they settled in Carson City and Virginia City. Samuel Clemens, of course, would later become known as Mark Twain, acclaimed author and humorist, but at the time he was just a writer for the Territorial Enterprise newspaper in Virginia City. He was also part of a group known as the "[Third House](#)", that would get together from time to time and ridicule the government.' As a fundraiser, at the annual Third House event, Mark Twain donated proceeds from his 'Third Annual Message' to the construction of the church. Construction of the original church was completed in 1864 and the Bell Tower was added in 1896.

On September 9, 2001 worship services were moved from the Old Sanctuary to the church gym as they had outgrown the facility. They met in the old gym until they moved into the newer sanctuary seven years later.

A commitment to preserve and restore this beautiful Old Sanctuary to share and appreciate with our community has resulted in enthusiastic fund-raisers and private donations. We are excited to watch the progress as we move forward.

A list of current board members.

The church board is called Session and comprised of church leaders called Elders. Current Session Members are: George Branson, Jacque Dyer, Barbara Kowal, Barbara McSween, Linda Ritter, Dan Skinkis, Dale Satchell, Bob Stansbury, George Stanton, Bob Vibe, and Faye Wheeler.

Long-range plan including information on how frequently the plan is updated if applicable:

Our Vision and Long Range Plan is to open the gospel to Carson City and beyond. While we are still discovering what this means, it surely seems we are to be out in the community more, supporting other congregations, planning new churches, offering public service outreach, connect with other ministries in our community and beyond and truly open to the community.

- We stand on a strong, faithful, Bible-based foundation, serving a mature congregation that is nurturing new, younger believers. We embrace the inter-generational composition of our congregation.
- We have spirit-filled Christian education and youth programs which serve the needs of both adults and youth, and reach out to minister to the un-churched within our community.
- We use all that God has provided and share it with our friends and neighbors here in Carson City, as well as with those in need both physically and spiritually within our nation and world.

Examples of how the long-range plan is seen includes the many service groups and others who utilize the church building such as Grace Works, Circles, Carson City Band, and Night Off The Streets (NOTS).

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A list of activities for the past fiscal year

As part of our vision to reach out to Carson City and Beyond, First Presbyterian Church in Carson City we actively strive to connect with our community and beyond. In the last year we have opened our facility and/or provided support to Nights off the Street (NOTS), Angel Tree, Circles of Support, F.I.S.H. (Friends in Service Helping), GraceWorks, Northern Nevada Dream Center, Life Choices and the Carson City Community Band. We conduct many events and activities that are open to our community in addition to church services and Sunday School, activities for youth, great food at our chili-cook off, Pie Day, and participate in the Carson City Historic Walking tours. During COVID-19, we began live streaming of our worship services and eventually developed a media studio with a number of podcasts used for community and public service announcements as well as spiritual education and inspiration and our popular, ‘Mary and Sherri Show.’

The church also ministers to the congregation, and to other individuals unable to leave their homes. On a rotational basis, prior Senior Pastors have served as Chaplain to the State Legislature, County Sheriff's Department and local Carson-Tahoe Hospital.

A detailed report on current CCCHP grant status as well as the outcome of previous CCCHP grants.

We have not received any previous CCCHP grants but look forward to receiving our first one if granted.

A current list (last three years) of all grants and additional funding, including amounts the organization has or will receive.

We have not received any grants over the last three years. Please see funding from donations and events over the last three years below.

OLD SANCTUARY FINANCIAL SUMMARY BY YEAR			
Year	Income	Expense	Year end Balance
2020	\$7,772.75	\$420.38	\$7,352.37
2021	\$51,616.17	\$32,970.00	\$25,998.54
2022	\$68,478.57	\$7,844.80	\$86,632.31
2023	\$43,524.42	\$3,710.21	\$126,446.52
2024	\$6,171.01	\$0.00	\$132,617.53
Total	\$177,562.92	\$44,945.39	

All relevant building studies for the resource (e.g., seismic building studies, historic structure reports, building condition assessment) regardless of whether they were previously submitted to the Commission

See Attachment 5 – Melvyn Green & Associates, Inc. – Seismic Rehabilitation Report and recommendations for First Presbyterian Church Carson City, Old Sanctuary Preservation

See Attachment 6 – Abstract Masonry Proposal for Repointing the Two-Story Bell Tower

DISCLAIMER

HISTORICAL DOCUMENTS ARE CURRENTLY UNDER CONSTRUCTION AND MAY NOT BE SHOWN. DISCREPANCIES ARE BEING CORRECTED.

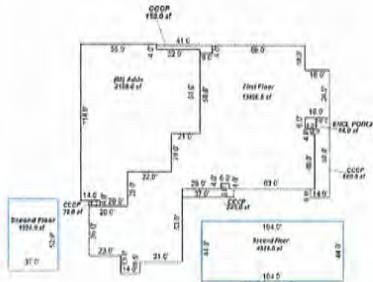
Attachment 1

Property Information

Parcel ID	003-214-07	Parcel Acreage	0.7210
Tax Year	2024	Assessed Value	746,664
Land Use Group	COM	Tax Rate	0.0000
Land Use	400 - General Commercial	Tax Cap	High Cap
Zoning	RO	Tax Cap Returned	
Tax District	015	Total Tax Fiscal Year (2024 - 2025)	\$0.00
Site Address	115 N DIVISION ST 191 N DIVISION ST N DIVISION ST/ W KING ST	Total Unpaid All Years	\$0.00
Neighborhood	92 - Comm - Mid Downtown	Pay Taxes	
Public Notes	AVERAGE STORY HEIGHT: 20 FT, 40 HIGH GLASS ENCL PORCH *CONC/MASRY, **GABLE/SHED, ***ALUM/COMP, INDOOR SPRINKLERS STAINED GLASS WINDOWS,		

Photos & Sketches

Converted Sketch



Converted Parcel Image



Assessments				
Taxable Value	Land	Building	Per. Property	Totals
Residential	0	0	0	0
Com / Ind.	0	0	0	0
Agricultural	0	0	0	0
Exempt	527,570	1,605,755	0	2,133,325
Pers. Exempt				0
Total	0	0	0	0
Assessed Value	Land	Building	Per. Property	Totals
Residential	0	0	0	0
Com / Ind.	0	0	0	0
Agricultural	0	0	0	0
Exempt	184,650	562,014	0	746,664
Pers. Exempt				0
Total	0	0	0	0
	New Land	New Const.	New P.P.	
Residential		0	0	0
Com / Ind.		0	0	0
Agricultural		0	0	0
Exempt		0	0	0
Totals		0	0	0

Assessor Descriptions						
Year	Assessor Descriptions	Subdivision	Section	Township	Range	Block & Lot
Current Year 2024						
2024	LLD #356229 R/W ABAND #369472 AND #117801	PROCTOR & GREEN DIVISION	17	15N	20E	BLK 10

No Personal Exemptions

No Billing Information

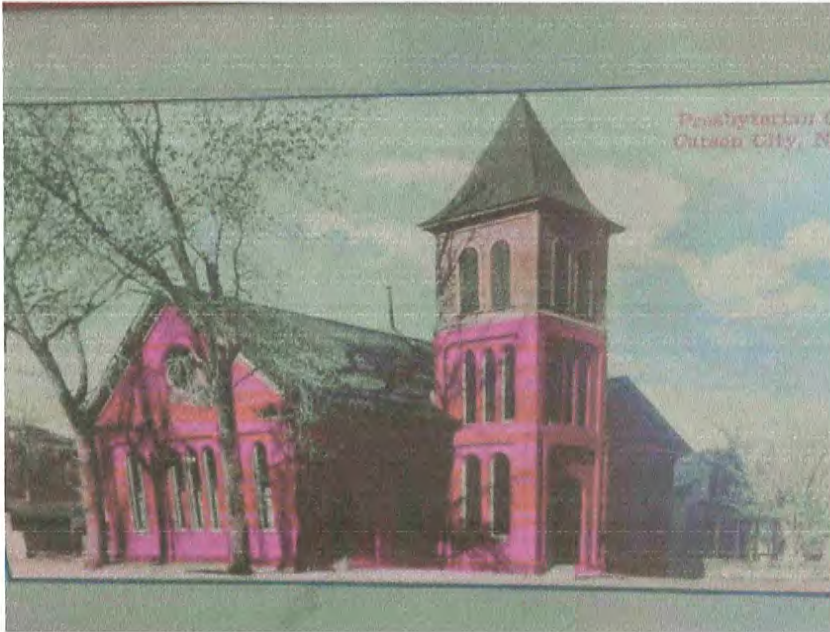
No Payment History

CURRENT Mail To FOR 2024 (2024 - 2025)		CURRENT OWNER FOR 2024 (2024 - 2025)	
Name	FIRST PRESBYTERIAN CHURCH OF CC	Name	FIRST PRESBYTERIAN CHURCH OF CC
Mailing Address	306 W MUSSER ST CARSON CITY, NV, 89703- 0000	Mailing Address	
Status	Current	Status	Current

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Attachment 2

OLD SANCTUARY
PHOTOGRAPHS

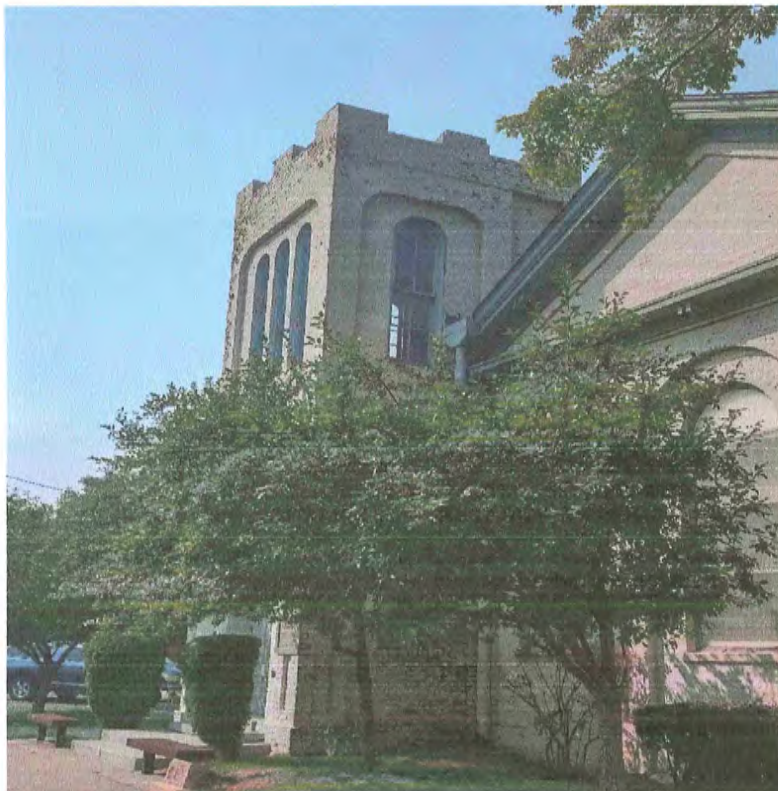


OLD SANCTUARY ORIGINAL AND BELL TOWER RED BRICK

**Nevada Commission for Cultural Centers & Historic Preservation (CCCHP)
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OLD SANCTUARY FRONT & BELL TOWER FACING NEVADA STREET – CURRENT PAINTED BRICK

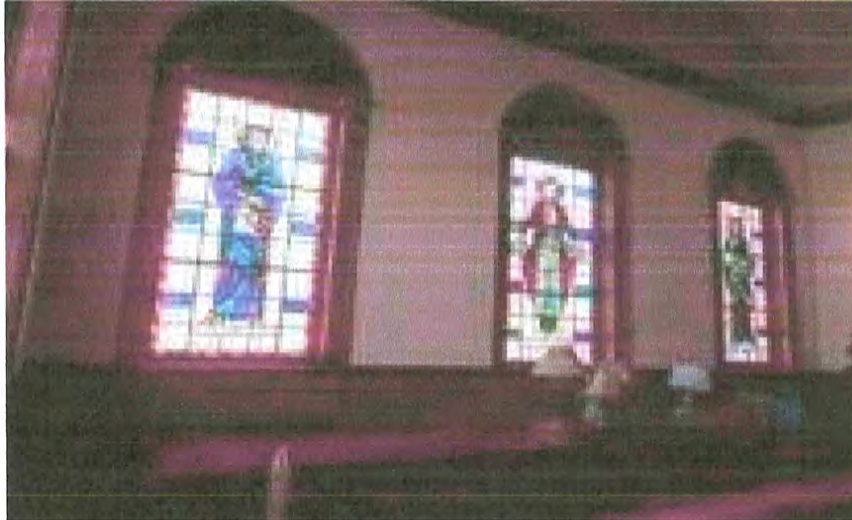


**OLD SANCTUARY AND BELL TOWER
NE – CURRENT PAINTED BRICK**

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FPCCC OLD SANCTUARY INTERIOR AND EXTERIOR PHOTOS

Attachment 3



Old Sanctuary Interior East Wall



Old Sanctuary Interior SouthWall

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FPCCC OLD SANCTUARY INTERIOR AND EXTERIOR PHOTOS



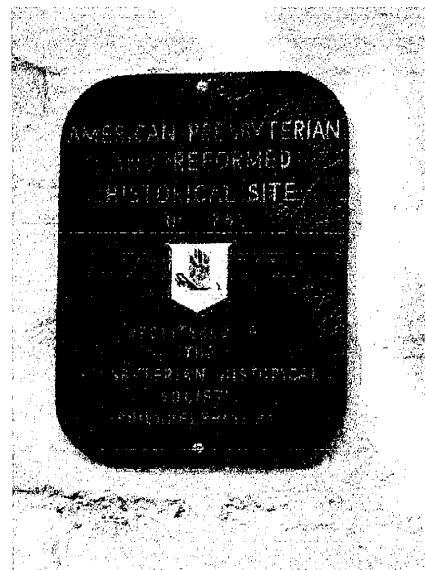
Old Sanctuary Interior Bell Tower



Old Sanctuary Interior Ceiling

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HISTORICAL MARKERS



ARTICLES OF INCORPORATION
OF
RELIGIOUS CORPORATION SOLE

Attachment 4

STATE OF NEVADA)
) SS.
COUNTY OF ORMSBY

I, the undersigned, CAMERON M. BAUER
of Carson City, Ormsby County, Nevada, having been duly and
regularly, and in accordance with the rules and regulations of
the FIRST PRESBYTERIAN CHURCH OF CARSON CITY, NEVADA, elected
~~the~~ Chairman of the Board of Trustees of the said FIRST PRESBYTERIAN
CHURCH OF CARSON CITY, NEVADA; and having been directed to
form a corporation sole under the provisions of NRS Chapter 84,
do hereby certify as follows:

I. That the name of this corporation shall be as
follows: "THE CHAIRMAN OF THE BOARD OF TRUSTEES OF THE FIRST
PRESBYTERIAN CHURCH OF CARSON CITY, NEVADA, AND HIS SUCCESSORS,
A CORPORATION SOLE."

II. The object of this corporation is to exercise
the powers granted to a Corporation Sole under the provisions
of NRS Chapter 84, in connection with the worship of God,
the propagation of the Gospel of our Lord Jesus Christ; the
promotion of Christian education and missionary enterprises
at home and abroad; and the carrying on of a program of
benevolences.

III. The estimated value of the property belonging
to this Corporation Sole at the time of the signing of these
Articles is \$110,500.00.

IV. The title of the person making these Articles is: "The Chairman of the Board of Trustees of the First Presbyterian Church of Carson City, Nevada."

V. The manner in which any vacancy in the incumbency of the said "Chairman of the Board of Trustees of the First Presbyterian Church of Carson City, Nevada" is to be filled is as follows:

The chairman shall be elected annually unless a vacancy sooner occurs in said chairmanship by reason of death, resignation or removal, at which time a successor shall be immediately elected. The chairman shall be nominated from and elected by the Board of Trustees of the First Presbyterian Church of Carson City, Nevada. Said Board of Trustees shall be elected by the congregation of said church.

I, THE UNDERSIGNED, being the person named in these Articles, for the purpose of forming a Corporation Sole under the provisions of NRS Chapter 84, do make this certificate in duplicate and file the same, hereby declaring and certifying that the facts hereinabove stated are true, and accordingly have hereunto affixed my signature this 20th day of January, 1960.

/s/ Cameron M. Batjer

STATE OF NEVADA

)
)
)
)

SS.

COURTY OF ORMSBY

On this 20th day of January, 1960, personally appeared before me, a Notary Public in and for the said County and State, Cameron M. Batjer, known to me to be the person described in and who execute the foregoing instrument, who acknowledged to me that he executed the same freely and voluntarily and for the uses and purposes therein mentioned.

(Seal)

/s/ Charlotte Hollingsworth
Notary Public in and for the
County of Ormsby, State of Nevada
My Commission Expires September 19, 1961

Memo

Attachment 5

To: Bob Speicher, et al
From: Mel Green, Structural Engineer
CC:
Date: June 20, 2023
Re: First Presbyterian Church of Carson City – Summary Report

Here is a summary of our findings and the scope of work text for any grant proposals.

1. The building code requirements for earthquake design for the Carson City area have increased over the past several code cycles. The increase results from US Geologic Survey work as well as UNR's research. The effect of this on the building's retrofit is not known right now. But it may result in closer spaced anchor bolts connecting the walls and the roof, wall braces at the gable ends might get heavier, and the forces on the tower will increase.
 2. Construction costs have not been updated but I will try to find some updated information. The way prices have been going up and down has everyone confused.
 3. After thinking about the discussion at the meeting and the various risks due to falling walls and bricks, I am recommending that the Tower be strengthened as the first phase. Specifically, it is because it is the main entrance and exit of the historic church. The other doors lead to corridors and require passing through other areas. It is also the shortest path to exit.
 4. Scope of Work: The work required to seismically retrofit the building includes the following:
 - Bracing the tall walls at the gable ends of the building. Any parapets need to be braced.
 - Wall anchors to connect the walls to the roof and to the second floor. This occurs at all brick walls.
 - Installing a framework in the tower to brace it and convey lateral loads to the ground. This will probably be steel beams and columns on the interior of the tower.
 - Strengthening the "short" wall separating the church from the two story section.
 - Possible strengthening of some of the exterior walls. Walls brace the building, but the windows reduce their strength. Thus, work may be needed.
 - This work may be done in phases and could integrate with other building work such as reroofing.
- Based on the discussion in 3. I suggest that the tower retrofit be undertaken first.



Structural Engineering
Architectural Preservation
Materials Conservation

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www.mgreenassoc.com

July 7, 2020

Ms. Grace Speicher
First Presbyterian Church
306 West Musser St.
Carson City, NV 89703

Re: First Presbyterian Church – Seismic Safety and Retrofit

Dear Ms. Speicher:

It was a pleasure to meet with you and the committee the other day. When I returned, I reviewed some of our work from 1995/96. This included preliminary calculations and building measurements.

To reiterate, the building is unreinforced masonry (URM) construction. This type of construction is considered a potential life safety hazard during earthquakes. Our previous report suggested several mitigation measures that would improve the building's performance in earthquakes.

I recommended a phased improvement program that could be integrated with other repair and improvement activities. This includes:

- a. Attaching the roof to the walls
- b. Bracing the tall gable walls to prevent collapse
- c. Upgrading the bell tower (a two story structure)
- d. Adding plywood to the roof to limit outward pressure on walls (as part of any reroofing project).
- e. Strengthening walls or adding bracing.
- f. Other detail items such as independent truss support, collectors, etc.

The church is an important historic structure in Carson City and should continue to be used.

Per our discussion, if you decide to go ahead and repair/reroof the building, I suggest performing the work of items a, b, and c above. These tasks provide significant improvement for moderate cost and with minimum interior work.

Some of our earlier work may not be valid anymore. Earthquake loads have increased, especially in the Carson City/Reno region. Other provisions have been updated and might affect the previous design.

We can continue to assist in this project. Please let me know how I might help. And feel free to contact me if you need additional information.

Yours truly,

Melvyn Green
Structural Engineer

GREEN

Draft Seismic Rehabilitation Report

for the

First Presbyterian Church

Carson City

Prepared by

Melvyn Green and Associates, Inc.

September, 1996

1996

Tel (310) 792 9252

Fax (310) 792 8092

September 24, 1996

Mr. Joe DiLinardo
First Presbyterian Church
306 West Musser St.
Carson City, NV 89703

Re: Seismic Rehabilitation Report

Dear Mr. DiLinardo:

Finally! I am pleased to submit our draft report on the seismic rehabilitation of the historic church buildings.

The report includes a summary of our analysis, findings and recommendations as well as a cost estimate. The cost estimate includes a contingency amount for budget purposes since the scope of work has cannot be defined completely until plans are prepared.

We anticipate most of the phase I work being done from the roof. The budget only includes roof repair not replacement.

If the full strengthening is to be undertaken then the building would have to be vacated during construction. All of this must be integrated in with your plans for the mezzanine. Otherwise the work can be done and building can be strengthened in a relatively straightforward manner.

I will be in Reno in mid- to late-October and would be glad to meet with you then. Also feel free to call me if there are any questions.

I have been busy with some building code writing and the time has really slipped away. I am sorry this has taken so long.

Yours truly,



Melvyn Green
Structural Engineer

enc.

CVRLTR.SAM

Melvyn Green & Associates Inc 21307 Hawthorne Boulevard Suite 250 Torrance California 90503
308 North Curry Street Suite 205 Carson City Nevada 89703 Tel (702) 883 7867 Fax (702) 883 7398
Structural Engineers • Seismic Rehabilitation • Architectural Preservation • Materials Conservation

Introduction

The First Presbyterian Church of Carson City is one of several pre-turn of the century structures. Its location in the historic core of the city continues to illustrate its importance to the community and membership.

The original building was constructed in the late 19th century with an addition just after the turn of the century.

The building is of brick construction. Based on the date of construction, it was built in a traditional method of the era without reinforcing steel. This type of construction has been demonstrated to be a potential hazard in past Nevada and California earthquakes.

Scope and Intent

The intent of this report is to provide information regarding the seismic risk that the building has for the membership, the methods and options for retrofit for seismic safety and the general costs associated with such a retrofit.

The church wishes to determine the most appropriate method to reduce the seismic risk the building poses. Any work should reflect current retrofit methods used widely for strengthening unreinforced masonry buildings. This study, conducted by Melvyn Green and Associates, Structural Engineers, is to review the structure's current condition and earthquake resistance, determine appropriate needs and methods for strengthening and the approximate structural strengthening costs for the original brick buildings.

Building Description

Structural

General

The structure is a "L" shaped structure of brick construction. Overall the building measures 68 feet long at the east and west side and 55 feet along the north and south elevation. It is one story in height with a mezzanine in the south wing. There is no basement. There is a tower at the east entry measuring 14 feet by 14 feet. The tower is about 2 1/2 stories in height.

The building was constructed in two phases. For this discussion the first phase which includes the sanctuary and tower is called Section A and the second section, the early addition is called. Section B . These are shown on Figure 1.

There are other additions at the rear of the church. This includes the pulpit and a utility/equipment room. From the visual inspection it was not clear if they were reinforced or unreinforced. A laboratory test will be necessary to determine their construction.

Roof framing

Section A, the original church, has a truss supported roof. The trusses are approximately 15 feet on center. There are assumed to be rafters and purlins in the roof but they were not visible due to the ceiling construction. In section B, above the mezzanine, the roof framing consists of 2 x 6 rafters with solid sheathing over. These span to supporting trusses or a conventional rafter tied ceiling.

The roof covering is asphalt shingles.

First Floor

The first floor is a raised wood floor slightly above grade. The sizes were not determined. There are some areas of settlement or deterioration in the floor which require further investigation.

Mezzanine

The mezzanine is independent of the bearing wall structure. It consists of wood floor joists spanning to wood beams and then to posts.

Connections

No wall anchors (wall ties) are visible on the exterior. Based on the year and type of construction there are probably some masonry ties to the roof. Typically these ties are widely spaced and inadequately connected to transfer any loads. For the purposes of this report it is assumed that there are no wall anchors.

Walls

The walls are 13 inch thick brick construction. There is no reinforcing steel in the walls of the original portions of the building. It is classed as an unreinforced masonry building.

The height of the first floor walls is 20 feet to the underside of the roof framing. There are tall gables at each end of the building. The height of the gable end walls is about 25 feet.

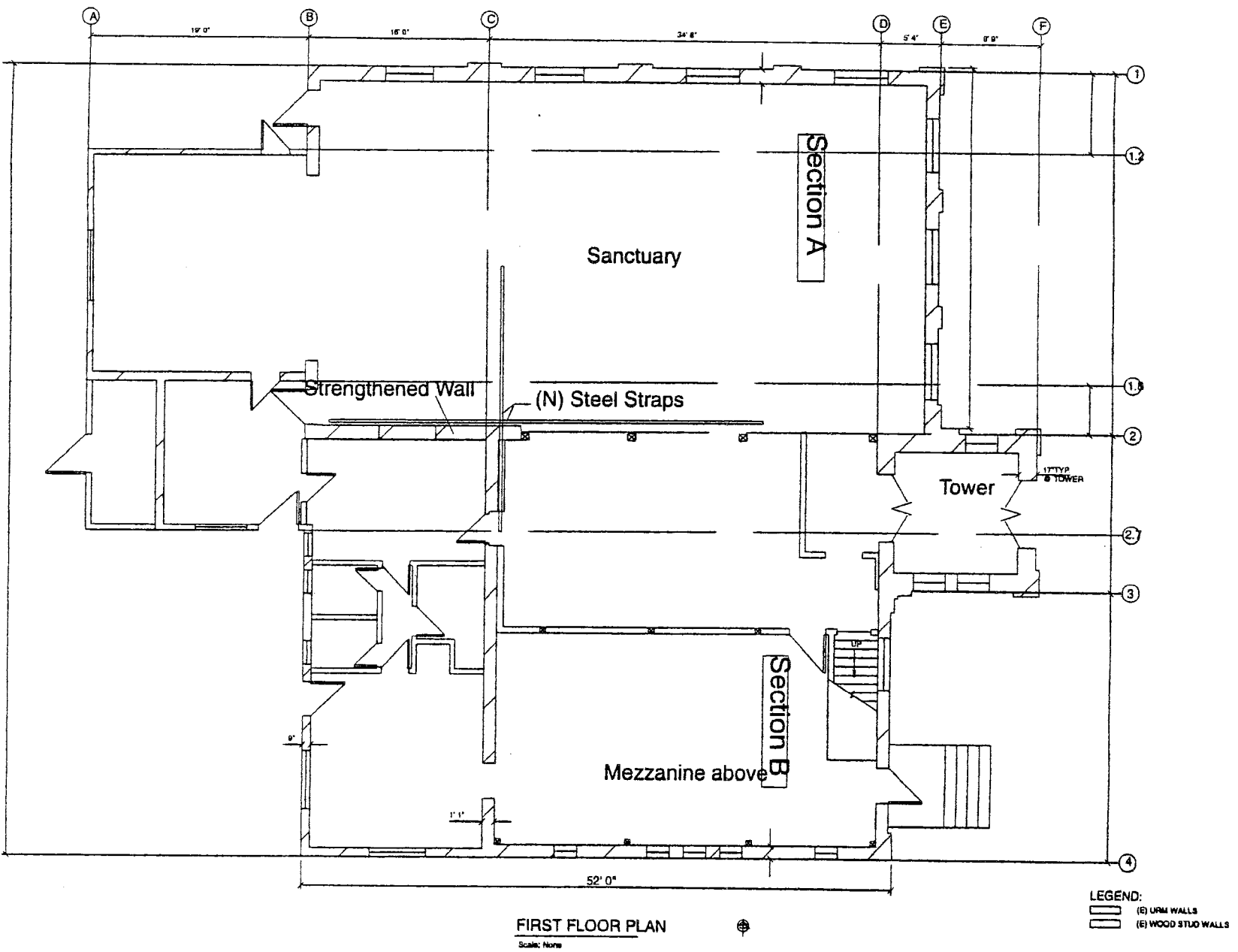
Foundations

The foundation is cut stone above grade with a leveling course of brick as a base for the walls.

Tower

The tower is a two story structure constructed of brick masonry walls. Walls at the first floor are 17 inches thick. Those above the first level are 13 inches thick. The floor and roof framing are conventional joist construction.

Figure 1. Floor Plan



FIRST FLOOR PLAN
Scale: None

LEGEND:
[Hatched Box] URM WALLS
[Solid Box] WOOD STUD WALLS

Codes and Design Criteria

Building Codes and Design Practice

In recent years the design for seismic rehabilitation of unreinforced masonry building has been accomplished by the design approach contained in the Uniform Code for Building Conservation (UCBC). This code is a member of the Uniform Building Code family. It contains the provisions for existing building and a special chapter on seismic retrofit. The UCBC has been adopted by Carson City. This code has previously been used for the Nevada State Museum, Mint Building and the old State Library (Post Office) building.

The design methodology used for the analysis of this building follows a relatively new approach. The provisions of the UCBC are based on the building's dynamic performance rather than the equivalent static approach taken by traditional codes for shear wall structures.

The seismic analysis is based on Seismic Zone III requirements.

Analysis procedures

Contrary to many popular beliefs, buildings are not earthquake "proof" but are designed to yield and crack under different levels of earthquakes. There are many reasons for this. One reason is that earthquakes occur so infrequently that it would not be cost effective to design for "no damage". Another reason is that as buildings are made more rigid or stiffer, they are less able to dissipate the inertial energy and have to be made stronger to resist their own mass. Thus earthquake design is a balance between strength, the ability to resist the loads, and ductility, the amount of movement that is acceptable.

This design approach is particularly true for unreinforced masonry buildings. It would be impossible to strengthen these buildings to meet the current criteria for damage limitations without imposing a cost that would exceed that of new construction. In addition such improvements would require the removal of most of the finishes in historic structures.

The result is a different approach for strengthening of unreinforced masonry buildings. There is an acknowledgment in the URM retrofit code provisions that the ductility, or ability to dissipate energy, will be accomplished by movement, hence cracking, of the masonry walls. Recent earthquake experience, Northridge and Loma Prieta, has again shown that life safety and reasonable protection of property can be achieved by the use of these analysis methods and codes.

There are several approaches that can be taken in evaluating buildings. These are:

Life Safety - The life safety approach would provide significant improvements in protection from death and injury due to failure of the structure. It would minimize the chance of failure of the structure but would accept damage in the event of a moderate to large earthquake. The life safety design level would be less than the provisions of the code but may be considered if there was a desire to phase the work.

Property Protection - The property protection approach would build on the life safety improvements but would provide an additional level of construction to reduce the damage. This would be achieved by strengthening the walls and roof diaphragm and providing redundancy in the building.

In both approaches there will be significant cracking to the brick walls and deformation of the floor and roof diaphragms.

Findings

The following section summarizes the findings of the analysis and our recommendations. The retrofit work might be accomplished in two phases. The first is anchorage of the roof and walls by physically bolting them together. The second phase would be the remaining work including strengthening of the walls.

The complete analysis assumes that ultimately there will be connections made at the re-entrant corners to "drag" the seismic loads into the walls. (This is discussed later in the report.)

Mitigation Measures

This section describes each structural building element that poses a potential hazard or is part of the seismic resisting system. The mitigation measure for each potential hazard is then described.

Wall Anchors - Roof

As a structure deflects under lateral forces the walls are pushed outward by the mass of the roof or floor. This wall movement, coupled with parapet or gable movement, results in the wall falling outward. (This type of failure was the cause of most building related deaths in the Loma Prieta earthquake. There were no deaths reported in the Northridge earthquake due to masonry buildings since most had been strengthened.) This type of failure is caused by lack of attachment of the wall to the roof or floor and is called a tension failure. The mitigation measure for this deficiency is to install tension bolts, often called wall anchors, through the wall connected to the roof system.

Bolts must be installed from the wall to the roof rafters. The details of such installation will depend on the degree of visual intrusion. For the church the best solution may be to drill the bolts vertically down into the brick wall from the roof and using an epoxy with the bolt. With this method, shown in Fig. 2 the strengthening would not be visible from the interior or exterior.

Wall Anchors - Floor

Because the first floor is located just above grade it will not require anchors to the wall. The mezzanine is independent but the floor may be used to brace the walls. This will depend on the future program for the building. If it is used to brace the wall then anchors will be required.

The details of this installation would be different from that at the roof. A connection between the mezzanine floor joists and the wall would be necessary. These

anchors could be placed at an angle in the wall so they do not penetrate the exterior wall surface. They will be hidden by the ceiling. This is shown in Figure 3.

Wall Stability

Even if the walls are attached to the floor and roof diaphragm they must resist the force created by their own mass perpendicular to the wall surface during an earthquake. This force could cause the wall to buckle and then collapse. In new masonry buildings, this strength is provided by the combination of the masonry working with reinforcing steel. In unreinforced masonry walls the stability is measured by the height to thickness (h/t) ratio of the wall. The allowable height to thickness ratio for brick walls varies from 16 down to 9 depending on the location in the building. The allowable height to thickness ratio for the church buildings would be 16 at the first floor compared to an actual h/t of 18.5. This is excessive and requires mitigation. The mezzanine can be used to reduce this h/t ratio for the south portion of the building.

The end walls of the sanctuary are tall and exceed the h/t ratio. A bracing system to support these wall will have to be installed. This may be vertical steel tubes or diagonal braces from the roof to the wall.

The walls of the rear addition are 9 inches thick. As noted earlier whether they were reinforced or not was not determined. Additional investigation with a pachometer by a testing laboratory is recommended to determine if the walls require additional anchors to the roof.

A post will have to be added under each truss from the roof to the foundation. These posts are to provide a secondary means of support for the roof in the event of wall collapse.

Tower

The tower walls at the first floor are 17 inches thick and are within the allowable h/t ratio. The issue with the tower will be stability wherein it could topple in an earthquake.

Diaphragms

Diaphragms distribute the forces to the shear walls. Their deflection is controlled by their construction. A plywood diaphragm is much stiffer and deflects less, than a straight sheathed board diaphragm. If the diaphragm deflects too much, the walls will move outward so much that they are extensively damaged and may collapse.

The roof diaphragm in the church are straight board sheathing. The retrofit conceived for this building will include a redistribution of some of the loads and if completed will not require any added plywood on the roof.

In-plane Shear

The forces carried through the diaphragms are transferred to the shear walls. These forces are then resisted by the brick. In walls with many openings there is a pier rocking condition. In this structure the loads will be distributed into other walls by the use of steel collectors and drag members. Most of these will be in the roof and not visible. The wall on the south side of the altar will have to be strengthened to provide the strength needed. This wall is anticipated to be "shot-creted" wherein a layer of reinforcing steel and a spray on concrete is applied to the wall.

There has been no decision on the whether the mezzanine will be retained in the future plans for the building. If it remains it may require additional bracing. The recommendations in this report do not count on the mezzanine for strength.

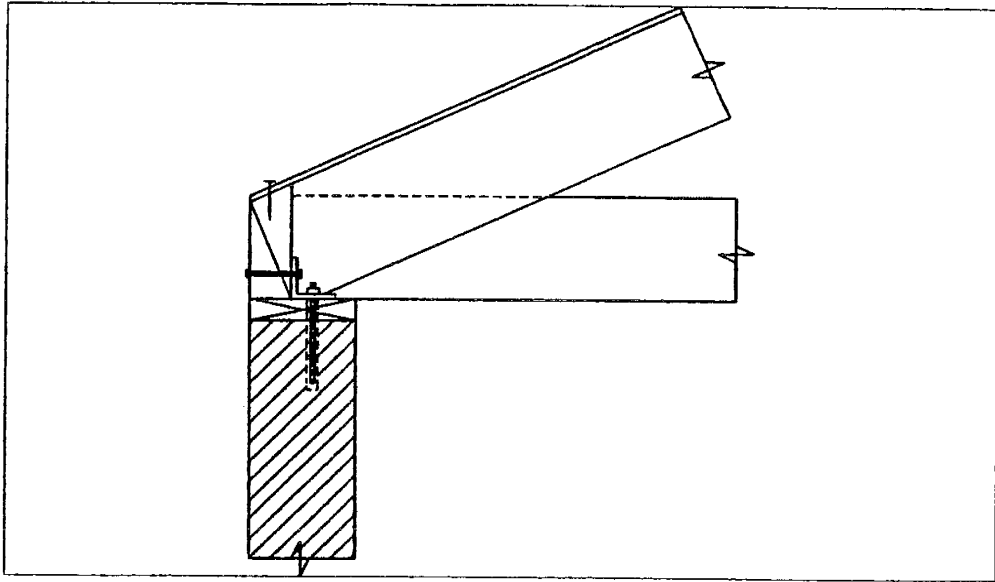


Figure 2. Attachment of unreinforced masonry walls to the roof rafters.

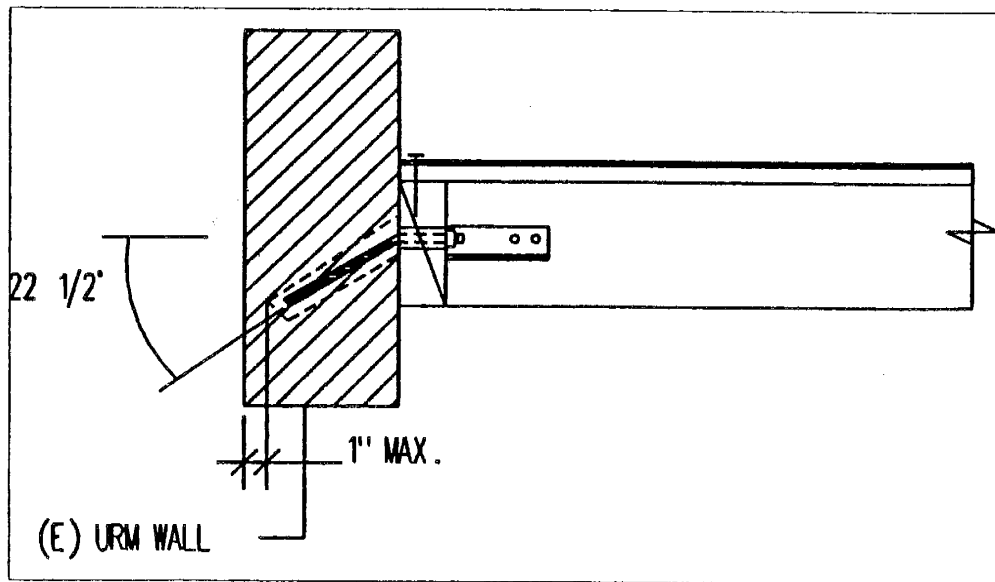


Figure 3. Attachment of unreinforced masonry walls to floor joists or where roof rafters where the roof is approximately flat.

Recommendations

General

The building should be strengthened to resist earthquake forces. This can be accomplished economically. Any strengthening should consider the historic nature of the building and the potential alterations.

Architectural

There should be a minimum of visual changes to the structure as a result of the strengthening. New bolts should not penetrate exterior walls if at all possible. A visual impact may be any bracing required where the high wall are braced. This may occur at the gable walls and in the alter area.

Strengthening Options and Recommendations

It is possible to strengthen the structure in two phases. The first is to strengthen the building only for minimum life safety. This would mostly include work that can be accomplished from the roof. Strengthening for life safety only would require the installation of wall anchors at the roof lines and possibly bracing for the tall gable walls.

The second phase is to strengthen to fully meet the UCBC requirements. Full compliance would require installation of additional wall anchors for shear transfer (these may be combined with the wall anchors), shotcreting of the wall and the installation of the necessary collectors and drags.

The tower will require bond beams at each level to tie the structure together. In addition anchor bolts must be installed at each level and the roof. It is recommended that this be done in the initial phase of the project.

The benefit of strengthening to the full requirements of the UCBC is that the damage will be significantly less in any earthquake and the possibility of injury or death to occupants is reduced considerably.

Strengthening Costs

Since the program for the building has not been defined a detailed cost breakdown cannot be developed. The following page is an opinion of the possible costs for seismic strengthening:

This estimate is for seismic strengthening only and does not include any stairs, architectural finishes, electrical or mechanical improvements or alterations.



Photo 1. Front, east, elevation showing original church and tower.



Photo 2. East and south elevations, front of church. The gable ends at the south and east are visible. These are some of the tall walls that will require bracing.

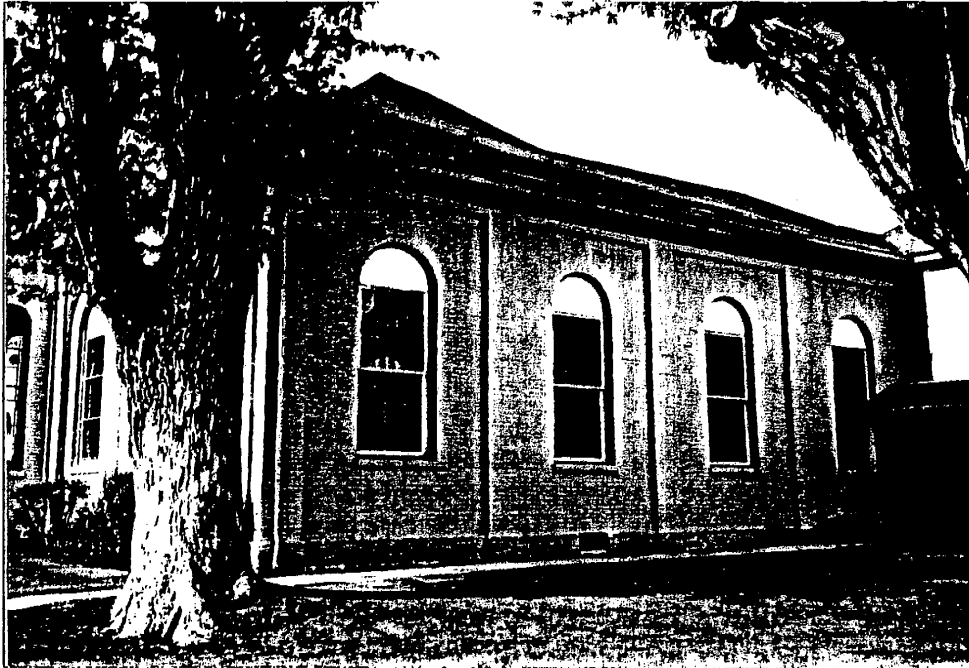


Photo 3. North elevation of original building.



Photo 4. Elevation of tower showing architectural details.

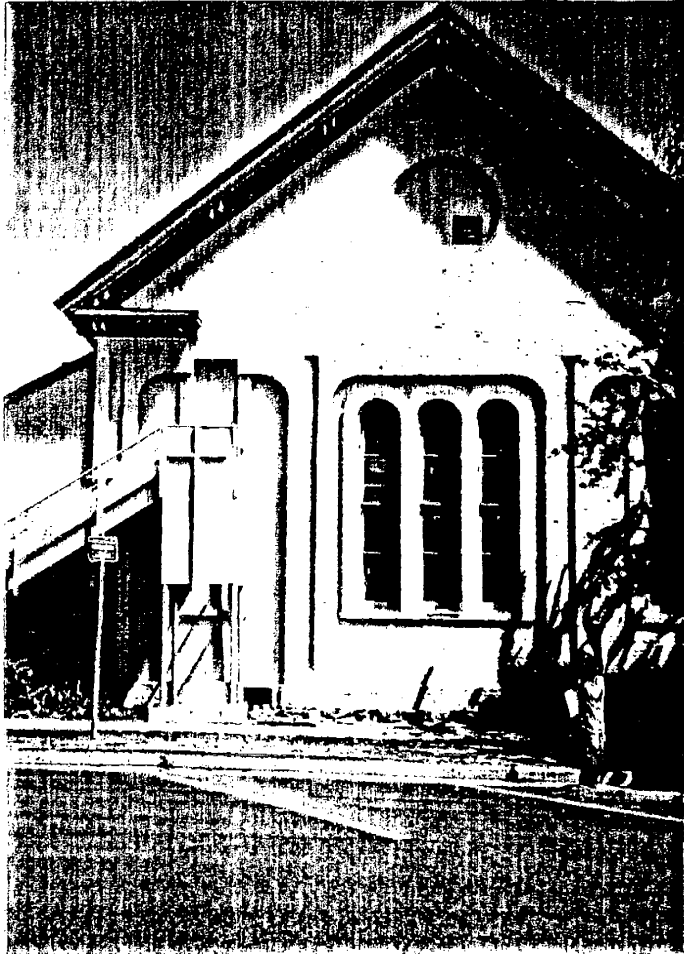


Photo 5. South gable elevation. Round opening was probably a stained glass window.



Photo 6. West elevations showing additions. The walls of these additions will require further investigation.

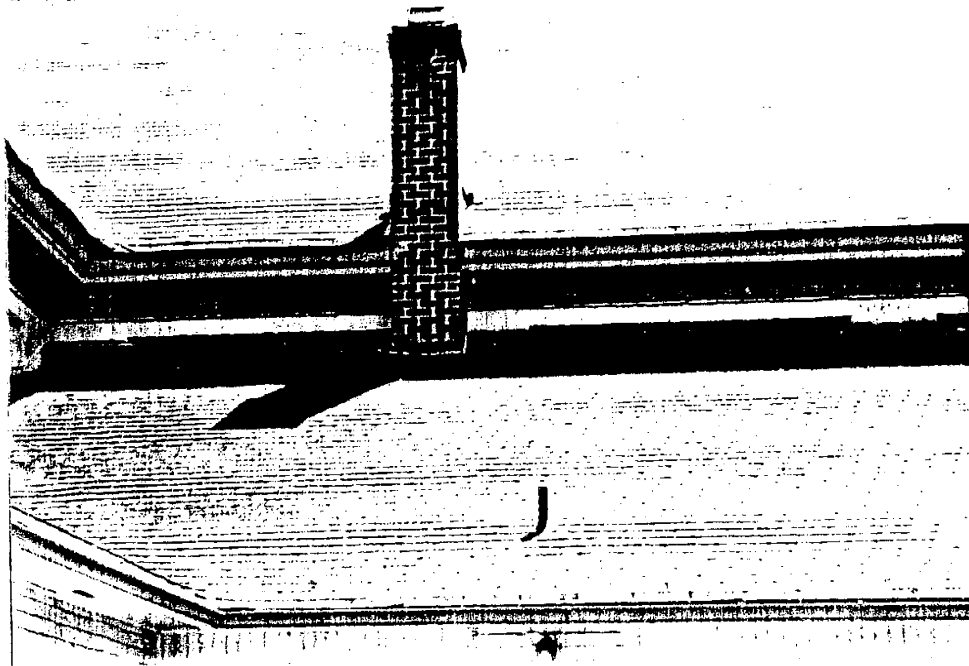


Photo 7. Roof from west showing chimney that should be braced to prevent collapse.



Photo 8. Photograph of the roof where several additional join. Areas such as this require special structural ties to distribute loads around it.

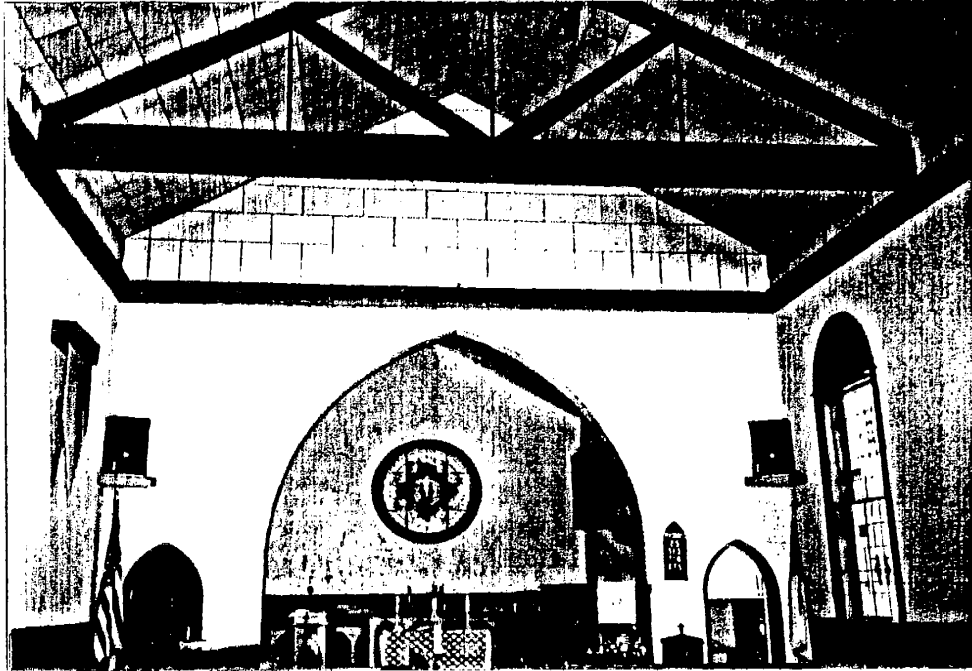


Photo 9. Interior view of the church showing roof trusses. Alter in the back is in an addition.

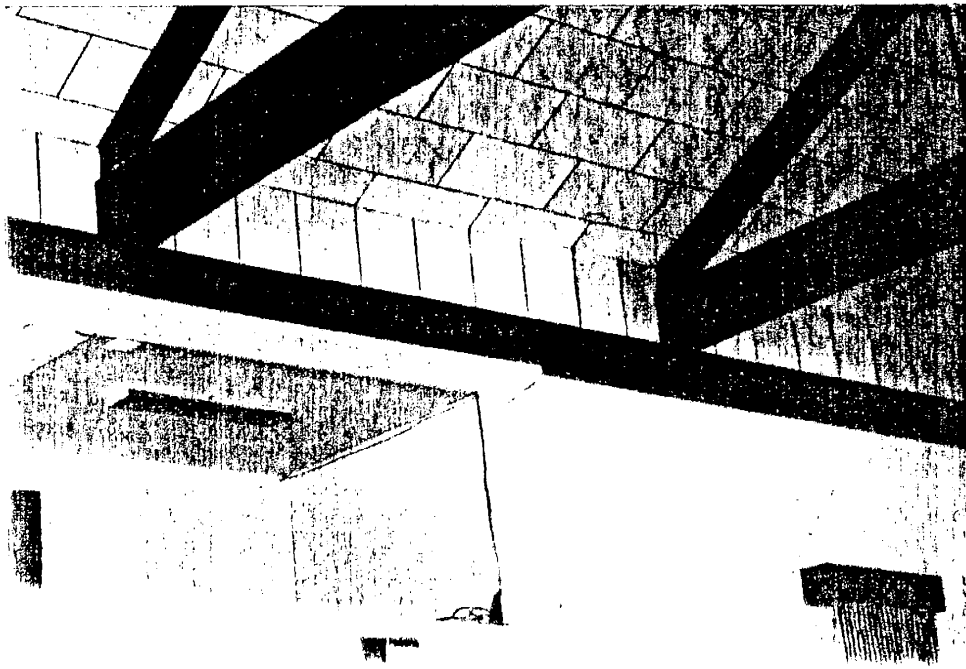


Photo 10. Church interior showing opening into mezzanine.

Selsmic Rehabilitation Cost Estimate Project
First Presbyterian Church, Carson City
Melvyn Green and Associates, Inc.
Sept 23, 1996

Building Data

Address: 306 West Musser Street

Square Footage: 5000 s.f.

Number of Stories: 1+

Division	Item	Quantity	Unit	Unit Cost	Extension
1 - General	Bonds at 3%	1	l.s.	\$2,905.94	\$2,906
	Mobilization at 1%	1	l.s.	\$968.65	\$969
2 - Sitework	Demolition at 4%	1	l.s.	\$3,874.59	\$3,875
3 - Concrete (Includes Excav. & Reinforcement)	Wall Gunite	2.5	c.y.	\$1,687.50	\$4,219
	Footing (Secondary Support)	2	c.y.	\$1,000.00	\$2,000
4 - Masonry	Wall Anchors	200	each	\$100.00	\$20,000
5 - Metals	Wall Stability Steel Posts (h/t)	10	each	\$585.00	\$5,850
	Steel Straps and Ties	3	each	\$1,500.00	\$4,500
6 - Wood	Post Under Truss (Wood)	6	each	\$250.00	\$1,500
7 - Moisture Protection	Roof Patching	800	s.f.	\$1.25	\$1,000
9 - Finishes & Clean-up	25% of Project Total	1	l.s.	\$24,216	\$24,216
15 - Mechanical & Plumbing	10% of Project Total	1	l.s.	\$9,686	\$9,686
16 - Electrical	10% of Project Total	1	l.s.	\$9,686	\$9,686

Notes: This budget
does not include
removal of the mezz.
or other interior
alterations other than
repair of finishes.

Sub-Total	\$80,721
Contractor Overhead @ 10%	\$8,072
Contractor Profit @ 10%	\$8,072
Total Constr. Cost Estimate	\$96,865
Design Fees @ 12%	\$11,624
Constr Insp & Services @ 10%	\$9,686
Subtotal	\$118,175
Contingency @ 25%	\$29,544
Recommended Budget	\$147,719



EXPERTS AT CLEANING,
REPAIRING AND PRESERVING
HISTORIC BRICK AND STONE

SERVICE PROPOSAL AND ACCEPTANCE

7/17/2023

Proposal submitted to:
Bob Speicher
110 North Nevada
Carson City, NV 89703

The following services to be performed at:
Same address as above

ABSTRACT MASONRY RESTORATION, INC., herein after referred to as Abstract, proposes to furnish materials and perform the labor necessary to:

- 1- Using specialty historic masonry paint stripping and cleaning solutions and pressurized steam/hot water, strip the paint off the masonry on the historic tower. Following the stripping process, use specialty historic masonry cleaning solutions to further clean the masonry, and neutralize the alkalinity in the masonry.
- 2- After the paint has been removed, remove the remaining lime plaster using as gentle means as feasible. Since this is currently concealed, this is a rough budget price and this work will be done on a time and materials basis
- 3- Remove and repoint all deteriorated mortar joints on the historic tower. This is a rough budget price and this work will be done on a time and materials basis

Anything not specifically included in the scope of work in this proposal is specifically excluded.

GENERAL AGREEMENTS AND UNDERSTANDINGS

1. The waste water will be collected, filtered and neutralized and then and then disposed of in an inlet to the sanitary sewer (not the storm drain) on the property or in the building.

Therefore access to the interior of the building will be needed at all times.

2. On rare occasion, the drain pipes in a building may not be 100% free flowing and able to handle the disposal of the waste water. It is the customer's responsibility to make sure that all drain pipes in and outside of the building are completely free flowing and unclogged before and during the paint stripping operations. If a drain pipe becomes clogged during the paint stripping process, it is the responsibility of the customer to quickly get it unclogged at their own cost so the project can continue with out delay. The customer agrees to hold ABSTRACT harmless and not liable for any damage done to the property as a result of clogged drain pipes.
3. The customer agrees to provide no less than 2 working exterior hose bib faucets with a flow of no less than 8 gallons of water per minute each for the rinsing process.
4. A temporary electrical disconnect *may* be required when we are working around the electrical mast on the building. If needed ABSTRACT will arrange for this disconnect with the electrical company, and will correlate with the customer as to when it will be done so they can unplug computers, appliances and other potentially sensitive equipment in the building to protect them from potential power surges.
5. Due to the workmen foot traffic, the volume of water that is used, the waste water containment system, and the scaffolding that will extend out approximately 8 feet from the perimeter of the building, any plant life with in this area may not survive the paint stripping process. It is the responsibility of the customer to move, transplant, or relocate any and all plant life in this area.
6. An orange web safety construction fence, that is approximately 4 feet high, may be set up by ABSTRACT around the perimeter of the building. It is the responsibility of the property owners to keep all children, adults, animals, pets, visitors etc. on the outside of this fenced area.
7. Some of the non masonry surfaces, such as window and door frames, that are directly contiguous to the masonry to be stripped, will have a small amount of the paint stripped off of them. These surfaces will be masked with plastic and tape, but the stripper is designed to penetrate and often creeps behind the masking materials. The "touch up" painting of these surfaces that will be necessary after the stripping process is completed is excluded from the scope of this proposal.
8. In order to cover the window and other openings on the building, plastic may be stapled onto the wood frames around the openings. This will leave small staple holes in the wood frames after the staples are removed. It is beyond the scope of this proposal to repair these small holes.
9. The glass window surfaces will be rinsed with fresh clear water after the surrounding brick surfaces are cleaned. The detail "squeegee cleaning" of the windows is excluded from the scope of this proposal.
10. On older buildings such as this one, on occasion, some water from the stripping process may intrude into the interior of the building through cracks, voids, failed caulk, below grade foundations, window and door frames etc.. It is the responsibility of the customer to notify ABSTRACT in advance of areas where this may have occurred in the past. It is also the responsibility of the customer to move all item no less than 4 feet away from all windows and doors, and completely out of basement areas where the potential for water intrusion exists. The customer agrees to hold ABSTRACT harmless and not liable for any damage done to the property as a result of interior water intrusion.
11. The intent is to strip the paint and clean the underlying masonry using the gentlest means possible so as to not damage the historic masonry. Excessive water pressure and/or to

concentrated stripping or cleaning solution could damage the masonry. Therefore, it is agreed and understood that the paint will be stripped, and /or the masonry will be cleaned only to the point that if greater water pressure and/or too concentrated stripping or cleaning solutions were used that it would pit, discolor or otherwise damage the masonry. This means that on occasion, there may be some areas on the building that are so severely stained that they will not clean up 100%.

12. On rare occasion, there may be plaster, cement, lime, caulk, tar, unusual paint or other similar materials under, or between the layers of paint, that the chemical paint stripper will not react upon or strip off. Removal of these materials are considered unforeseen conditions and are excluded and beyond the scope of this proposal. If they are discovered during the paint stripping process, ABSTRACT will inform the customer of such and perform some testing (at ABSTRACT'S expense and cost), in order to determine the most effective method of removing them, and then provide the customer with a cost proposal to do so.
13. On rare occasion, the brick, stone or mortar may contain soluble salts. As the masonry is drying out following the stripping and / or cleaning process, these salts may manifest themselves on the face of the masonry in the form of a white powdery substance commonly known as efflorescence. Removal of efflorescence is considered an unforeseen condition and is excluded and beyond the scope of this proposal. If efflorescence appears after the paint stripping and cleaning processes, ABSTRACT will inform the customer of such and perform some testing (at ABSTRACT'S expense and cost), in order to determine the most effective method of removing them, and then provide the customer with a cost proposal to do so.
14. This proposal is priced on the assumption that the masonry cleaning, paint stripping, repair and sealing will be scheduled by the customer to occur *before* any demolition, stucco work, window installation, gutter work, landscaping, painting, roofing or similar work is performed on the exterior surfaces of the building.
15. Due to the age and existing condition of the masonry, some of the existing unsound mortar may be removed down to sound mortar during the cleaning process. This proposal specifically excludes masonry repair, caulking and repointing.
16. It is the responsibility of the building owners to obtain a building permit from the city.
17. Anything not specifically included in the above scope of work is specifically excluded.

The above work is to be completed in a workmanlike manner for the sum of:

- 1- \$42,850 - Fixed cost for Paint removal
- 2 - \$25,000 - Budget for removing limecoat
- 3- \$50,000 - Budget to repoint all joints

This scope of work in #2 and #3 is to be performed on a "time and materials" basis for the following rates:

\$84.00 per man hour for all labor

In addition to the regular time labor rates above, all overtime hours (time exceeding 40 hours per week) will be invoiced at \$35 per hour.

Time does accrue for time spent on-site as well as work related activities taking place while working in areas not on the actual job site. This includes, but is not limited to working on matching materials, ordering, picking up and delivering

materials / supplies / equipment, travel to and from the job site, keeping the job log / history, attendance in job related meetings, project accounting and communication with the customer, project team etc. via phone, fax or email etc.

\$71.00 per running engine hour - plus fuel - for use of high pressure steam / water cleaning and wet vac equipment.

Payment(s) to be made as follows:

Payment due in full upon completion of work and receipt of each invoice.

Partial invoices may be sent out approximately every 2 weeks on the portion of the work completed.

Payments may be made by Check or Direct ACH payment via Quickbooks (bank to bank transfer). Credit Card payments accepted by request only with a 3.5% credit card fee (Visa, Master Card, American Express or Discover)

If payment is not received by Abstract as indicated above, Abstract reserves the right to stop work.

Customer agrees to allow Abstract Masonry Restoration, Inc. to place a small yard sign containing their company logo and contact information etc. in the yard of the subject property while the work is being performed

This proposal may be withdrawn by Abstract Masonry Restoration, Inc. if not accepted within 10 days from the date of this proposal. If accepted by the customer after that date, the prices in this proposal are subject to increase due to potential increases in fuel, material, labor and / or other costs.

Respectfully submitted via email by: Kevin Hadfield
Abstract Masonry Restoration, Inc.

ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are satisfactory and are accepted. You are authorized to do the work as specified and payment(s) will be made as outlined above.

A penalty service charge or a finance charge of 2% per month, which is an annual rate of 24%, will be charged on the unpaid balance of all past due invoices. The minimum monthly charge is \$15.00. In addition, customer agrees to pay all costs incurred in collecting the unpaid balance, including court costs and attorney's fees.

**NEVADA COMMISSION FOR CULTURAL
CENTERS & HISTORIC PRESERVATION (CCCHP)
GRANT APPLICATION**



NEVADA
**STATE HISTORIC
PRESERVATION OFFICE**

APPLICATION BUDGET

APPLICANT: FIRST PRESBYTERIAN CHURCH OF CARSON CITY

1. Personnel: CCCHP Grant funds cannot be used to compensate personnel. Match is limited to work related to the grant project.

	Position Title	Hours	Hourly Rate (HR)	Does HR include fringe benefits?	% of HR that is fringe benefit	Amount of fringe benefit	Match (Non-CCCHP Grant)
a.	N/A						\$ 0.00
b.							\$ 0.00
c.							\$ 0.00
d.							\$ 0.00
e.							\$ 0.00
f.							\$ 0.00
g.							\$ 0.00
h.							\$ 0.00
i.							\$ 0.00
j.							\$ 0.00
						Sub-total:	\$ 0.00

2. Travel: CCCHP Grant funds only cover travel for contracted service providers. This can be companies or individuals. Travel expenses must follow U.S. General Service Administration (GSA) rates.

	Contracted service provider	Match	CCCHP Grant	Total Amount
a.	N/A			\$ 0.00
b.				\$ 0.00
c.				\$ 0.00
d.				\$ 0.00
e.				\$ 0.00
f.				\$ 0.00
g.				\$ 0.00
h.				\$ 0.00
i.				\$ 0.00
j.				\$ 0.00
		Sub-total:	\$ 0.00	\$ 0.00

**NEVADA COMMISSION FOR CULTURAL
CENTERS & HISTORIC PRESERVATION (CCCHP)
GRANT APPLICATION**



NEVADA
**STATE HISTORIC
PRESERVATION OFFICE**

APPLICATION BUDGET Cont.

APPLICANT: FIRST PRESBYTERIAN CHURCH OF CARSON CITY

4. Operating: List estimated operating expenses relating to the proposed project.

Note: CCCHP Grant funds cannot be used for administrative costs.

	# of	Rate	Flat Rate	Match	CCCHP Grant	Total Amount
a.	Photocopying					\$ 0.00
b.	Film and Processing					\$ 0.00
c.	Maps					\$ 0.00
d.	Postage					\$ 0.00
e.	Telephone					\$ 0.00
f.	Utilities					\$ 0.00
g.	Supplies (specify)					
						\$ 0.00
	NA					\$ 0.00
						\$ 0.00
						\$ 0.00
						\$ 0.00
h.	Other (specify)					
						\$ 0.00
						\$ 0.00
				Sub-total:	\$ 0.00	\$ 0.00
					\$ 0.00	\$ 0.00

5. Other (please specify or attach detailed budget):

	Rate	Match	CCCHP Grant	Total Amount
a.	NONE			\$ 0.00
b.				\$ 0.00
c.				\$ 0.00
d.				\$ 0.00
e.				\$ 0.00
f.				\$ 0.00
g.				\$ 0.00
h.				\$ 0.00
i.				\$ 0.00
		Sub-total	\$ 0.00	\$ 0.00
			\$ 0.00	\$ 0.00

**NEVADA COMMISSION FOR CULTURAL
CENTERS & HISTORIC PRESERVATION (CCCHP)
GRANT APPLICATION**



NEVADA
**STATE HISTORIC
PRESERVATION OFFICE**

APPLICATION BUDGET Cont.

APPLICANT: FIRST PRESBYTERIAN CHURCH OF CARSON CITY

6. Section #1- 5 Subtotals:

		Match	CCCHP Grant	Total Amounts
1.	Personnel	\$ 0.00		\$ 0.00
2.	Travel	\$ 0.00	\$ 0.00	\$ 0.00
3.	Contractual Services	\$ 42,000.00	\$ 117,850.00	\$ 159,850.00
4.	Operating	\$ 0.00	\$ 0.00	\$ 0.00
5.	Other	\$ 0.00	\$ 0.00	\$ 0.00
	Sub-total	\$ 42,000.00	\$ 117,850.00	\$ 159,850.00

7. Requested CCCHP Grant Total: \$ 117,850.00

8. Potential Match: \$ 42,000.00

9. Proposed Project Costs Grand Total: \$ 159,850.00

Note: For assistance with completing the budget, please refer to the CCCHP Grant Handbook.

Topics

- Match
- Procurement of Goods, Services, & Contracts

Forms

- Value of Donated Material
- Value of Donated Equipment
- Value of Donated Labor



Jonathan S. Steele, CPA CGMA

Vanessa L. Davis, CPA CGMA

Attachment 7

**INDEPENDENT ACCOUNTANT'S REPORT
ON APPLYING AGREED-UPON PROCEDURES**

To George Stanton
Administration/Finance Committee
First Presbyterian Church – Carson City
Carson City, NV

We have performed the procedures enumerated below on the financial information of the First Presbyterian Church – Carson City as of and for the year ended December 31, 2022. The First Presbyterian Church – Carson City's management is responsible for the financial information.

The First Presbyterian Church – Carson City has agreed to and acknowledged that the procedures performed are appropriate to meet the intended purpose of satisfying the financial requirements of the Church. This report may not be suitable for any other purpose. The procedures performed may not address all the items of interest to a user of this report and may not meet the needs of all users of this report and, as such, users are responsible for determining whether the procedures performed are appropriate for their purposes.

The procedures and associated findings are as follows:

1. Analyze the Comparative Balance Sheets as of December 31, 2022, and 2021 for consistency, completeness and cutoff, in accordance with the Modified Cash Basis of Accounting.
 - a. The balance sheet was found to be consistent with the prior year's balance sheet with the change in assets equal to the net loss recorded in the Treasurer's Report, supplemented by various fund transfers.
 - b. A proof of cash was performed, and all activity detailed in the bank statements and investment statements was recorded in the general ledger and reflected in the appropriate cash and investment accounts.
 - c. The balance sheet is presented in accordance with the Modified Cash Basis of Accounting.
2. Reconcile the Consolidated Fund Activity Report as of December 31, 2022.
 - a. Fund balances were reconciled and compared to the Consolidated Fund Activity Report without exception.
 - b. Increases in the Fund balances agreed to revenues recorded.
 - c. Decreases in the Fund balances agreed to expenses recorded.
 - d. Transfers between fund accounts and other balance sheet accounts were reviewed and traced to support as necessary, without exception. Transfers to restricted funds represent those amounts to which restrictions apply.

611 N. Nevada Street
Carson City, Nevada 89703
Phone: (775) 882-7198
Fax: (775) 883-4346

Members of CPA Council
Chartered by the State of Nevada, Certified Public Accountants &
A member of the Institute of Certified Public Accountants
Member of the American Institute of Certified Public Accountants

3. Analyze the Treasurer's Report – Budget vs Actual for the year ended December 31, 2022.
 - a. A proof of cash was performed, and all activity detailed in the bank statements was recorded in the general ledger with deposits and disbursements agreeing materially with operating revenues and expenses recorded in the Treasurer's Report. Any variance in categories noted, netted to zero, indicating that the activity recorded in the Treasurer's Report represents the activity occurring in all bank and investment accounts held by the Presbytery.
 - b. Comparison of net activity in the Treasurer's Report showed a negative variance from budgeted expectations of \$34,737.39, the net loss.
 - c. However, the actual Treasurer's Report showed a favorable budget variance of \$75,573.09. It was found that the Treasurer's Report had a number of errors in the formulas calculating the budget to actual variance. This error was pointed out to the bookkeeper, and she worked with the Treasurer to correct the issues.

4. Reconcile the payroll records to the relevant payroll reports and the Treasurer's Report for the year ended December 31, 2022.
 - a. A walkthrough was performed tracing the time records to the amounts recorded in the payroll system, to ensure the system was functioning as designed and tested in previous years. The walkthrough supported the system functioning as designed. In addition, time records indicated review and approval by a supervisor.
 - b. Payroll recorded in the accounting system agreed with the payroll reports filed with the federal government.
 - c. Payroll recorded in the Treasurer's Report agreed to the amounts recorded in the payroll system and reported in the federal payroll tax returns. However, payroll tax expense recorded in the payroll system and reported in the federal payroll tax returns, did not agree with the amount recorded in the Treasurer's Report. The variance related to one payroll tax deposit being charged to payroll tax expense rather than reducing the liability. Once identified, the bookkeeper worked with the Treasurer to rectify the errors and the accounting system now agrees with the payroll system and the payroll reports as filed.

5. Review the bank statements and reconciliations.
 - a. The bank statement and reconciliation for the general checking and money market accounts were reviewed and agree to the Balance Sheet as of December 31, 2022.
 - b. In addition, all interest income reflected in the individual statements was recorded in the Treasurer's Report.

We were engaged by the First Presbyterian Church – Carson City to perform this agreed-upon procedures engagement and conducted our engagement in accordance with attestation standards established by the American Institute of Certified Public Accountant. We were not engaged to and did not conduct an examination or review engagement, the objective of which would be the expression of an opinion or conclusion, respectively, on the financial information provided. Accordingly, we do not express such an opinion or conclusion. Had we performed additional procedures, other matters might have come to our attention that would have been reported to you.

We are required to be independent of the First Presbyterian Church – Carson City and to meet our ethical responsibilities, in accordance with the relevant ethical requirements related to our agreed-upon procedures engagement.

This report is intended solely for the use of the First Presbyterian Church – Carson City and is not intended to be and should not be used by anyone other than those specified parties.

Stall & Associates, LLC

Carson City, NV
December 28, 2023



Policy Number 27M5A0458297
 Brotherhood Mutual Insurance Company
 Print Date: August 22, 2023
 Policy Period: 09/01/2022 at 12:01 a.m. to
 09/01/2025 at 12:01 a.m.

MinistryFirstsm Commercial Multi-Peril Insurance Coverage Summary

These are your policy's Declarations.
 Amended Effective Date: 09/01/2023
 See Policy Change History

775-853-9424
Comstock Insurance Agency Inc 2701-001
 9424 Double R Blvd
 Reno, NV 89521-5977

Contact your agent with your customer
 service questions, including updating your
 policy or reporting a claim.

www.brotherhoodmutual.com/payonline
 For your convenience, you can make
 premium payments online.

Attachment 8

NAMED INSURED: First Presbyterian Church of Carson City
 POLICY NUMBER: 27M5A0458297
 POLICY PERIOD: 09/01/2022 at 12:01 a.m. to 09/01/2025 at 12:01 a.m.

Key Facts About Your Policy

These Declarations replace your previous ones. Your policy's Declarations contain a summary of the coverage contained in the insurance policy.
 Your policy contains a full explanation of your coverage.

AGREEMENT: In return for the payment of the premium and subject to all the terms of the policy, we agree to provide the insurance stated in the policy.

TYPE OF ORGANIZATION: Church Institution
FORM OF ORGANIZATION: Corporation

Policy Overview

COVERAGE DESCRIPTION	DETAILS	COVERAGE DESCRIPTION	DETAILS
Property Coverage	Page 2 - 6	Terrorism Premium	\$1,054 (See Notice Form BN-6-ADXNV 4.0 for details)
Liability Coverage	Page 7 - 13		
Excess Liability Coverage	Page 14 - 14		

Policy Premium Overview

This premium is subject to adjustment at each anniversary. This premium is subject to adjustment due to premium audit provision.

ANNUAL PREMIUM: \$15,155.00 **PAYMENT SCHEDULE:** See invoice.

Common Policy Forms

FORM	FORM NAME	FORM	FORM NAME
CL100 1.0	Common Policy Conditions	CL300 1.0	Amendatory Endorsement
CPI 1.0	Table of Contents	BCP100 4.5	Commercial Property Coverage Conditions
GL100 1.0	Commercial Liability Coverage	BCL301 1.0	Form Number Reference
BN11A 1.2	Customer Notice: Value-Added Benefits	BCL120 1.0	Amendatory Endorsement - Assignment
CL0176 01 05	Amendatory Endorsement Nevada	BCL0681NV 1.0	Amendatory Endorsement Nevada
BCL966NV 1.0	Additional Policy Definition	BN1B 1.0	Notice Of Payment-Related Charges
BCL100 1.1	Additional Policy Conditions	G132 10 06	Notice To Policyholders
BN-6-ADXNV 4.0	Notice - Terrorism-Related Loss		



NAMED INSURED
POLICY NUMBER
POLICY PERIOD

First Presbyterian Church of Carson City
27M5A0458297
09/01/2022 at 12:01 a.m. to 09/01/2025 at 12:01 a.m.

Property Coverage Summary

MinistryFirstsm commercial multi-peril policy Declarations continued...

We provide the Commercial Property coverage at the declared premise(s) for the coverage and limits indicated. The Coverages listed here are provided according to the terms of the designated coverage form and any other applicable forms or endorsements.

COVERAGE DESCRIPTION (INCL. TYPE OF PROPERTY)	COVERAGE LIMIT	COINSURANCE	EQ DED	VALUATION TYPE	AUTO INCR	PERIL TYPE	FORM
Building Ordinance & Law Increased Building Loss	\$685,000	N/A	N/A	N/A	N/A	N/A	BCP138 4.5
Building Ordinance & Law Increased Debris Removal	\$500,000	N/A	N/A	N/A	N/A	N/A	BCP138 4.5
Debris Removal	\$100,000	N/A	N/A	N/A	N/A	N/A	BCP125 1.1
Personal Property	\$122,000	Agreed Amount	N/A	Replacement Cost	4%	Special with Theft	BCP85 4.8

GARAGE

306 W Musser St Carson City, NV 89703-4929

LOCATION 2/2

COVERAGE DESCRIPTION (INCL. TYPE OF PROPERTY)	COVERAGE LIMIT	COINSURANCE	EQ DED	VALUATION TYPE	AUTO INCR	PERIL TYPE	FORM
Building	\$92,000	Agreed Amount	N/A	Broadened Valuation	4%	Special with Theft	BCP85 4.8
Personal Property	\$6,300	Agreed Amount	N/A	Replacement Cost	4%	Special with Theft	BCP85 4.8



NAMED INSURED First Presbyterian Church of Carson City
 POLICY NUMBER 27M5A0458297
 POLICY PERIOD 09/01/2022 at 12:01 a.m. to 09/01/2025 at 12:01 a.m.

Property Coverage Summary

MinistryFirstSM commercial multi-peril policy Declarations continued...

We provide the Commercial Property coverage at the declared premise(s) for the coverage and limits indicated. The Coverages listed here are provided according to the terms of the designated coverage form and any other applicable forms or endorsements.

Optional Coverages: All Locations

Organizational Optional Theft Coverage

COVERAGE DESCRIPTION	COVERAGE LIMIT	DEDUCTIBLE	FORM
Theft of Money and Securities	\$10,000	\$250	BCP36 4.5

Ministry Personnel Dishonesty Coverage

COVERAGE DESCRIPTION	COVERAGE LIMIT	DEDUCTIBLE	FORM
Personnel Dishonesty Coverage	\$50,000	N/A	BCP37A 4.5

Earnings and Donations and Extra Expense Coverage Part

Perils Part: See Peril Type for the Property Described on the Schedule of Buildings and Personal Property That Sustains a Loss

COVERAGE DESCRIPTION	COVERAGE LIMIT	DEDUCTIBLE	FORM
Earnings and Donations	\$35,000	N/A	BCP71 4.8
Extra Expense	\$25,000	N/A	BCP71 4.8

Water Damage - Flood, Backup, and Subsurface

COVERAGE DESCRIPTION	COVERAGE LIMIT	DEDUCTIBLE	FORM
Water Damage-Flood, Back-up, and Subsurface	\$10,000	\$2,500	BCP27 4.5

Sewer and Drain Back-up Extension

COVERAGE DESCRIPTION	COVERAGE LIMIT	DEDUCTIBLE	FORM
Sewer/Drain Backup Extension	See Building/Personal Property Limit	\$2,500	BCP135 4.1

Systems / Equipment Breakdown Coverage

COVERAGE DESCRIPTION	COVERAGE LIMIT	DEDUCTIBLE	FORM
Systems/Equipment Breakdown Coverage	Building/Personal Property Limit	\$2,500	BSEB100 4.1

Rented Personal Property of Others Coverage

COVERAGE DESCRIPTION	COVERAGE LIMIT	DEDUCTIBLE	FORM
Rented Personal Property of Others	\$10,000	\$1,000	BCP12 4.5



NAMED INSURED First Presbyterian Church of Carson City
 POLICY NUMBER 27M5A0458297
 POLICY PERIOD 09/01/2022 at 12:01 a.m. to 09/01/2025 at 12:01 a.m.

Liability Coverage Summary

MinistryFirstsm commercial multi-peril policy Declarations continued...

The Coverages listed within these declarations are provided according to the terms of the designated coverage forms and any other applicable forms or endorsements. Only one liability coverage and one medical coverage will apply to an occurrence and any related loss. Any limit which is specifically stated within a coverage form or endorsement represents the most we will pay for the coverage to which such a limit applies. For application of limits, see Liability and Medical Coverage form (BGL11 4.5).

Key Liability Coverage Facts: Schedule of Limits

GENERAL OCCURRENCE LIMIT	\$1,000,000
GENERAL AGGREGATE LIMIT	\$3,000,000

Principal Liability Coverages

COVERAGE DESCRIPTIONS	COVERAGE LIMIT	COVERAGE AGGREGATE LIMIT	FORM
Bodily Injury/Property Damage Liability (L)	\$1,000,000*	\$3,000,000*	GL100 1.0
Medical Payments (M)	\$10,000*+	\$3,000,000*	GL100 1.0
Products/Completed Work (N)	\$1,000,000*	\$3,000,000*	GL100 1.0
Fire Legal Liability (O)	\$300,000*	\$900,000*	BGL951 4.5

Supplemental Coverages

COVERAGE DESCRIPTIONS	COVERAGE LIMIT	COVERAGE AGGREGATE LIMIT	FORM
Incidental Contractual Liability	\$1,000,000*	\$3,000,000*	GL100 1.0
Incidental Medical Malpractice	\$1,000,000*	\$3,000,000*	GL100 1.0
Mobile Equipment	\$1,000,000*	\$3,000,000*	GL100 1.0

Additional Coverages

COVERAGE DESCRIPTIONS	COVERAGE LIMIT	COVERAGE AGGREGATE LIMIT	FORM
Membership Emotional Injury Liability Coverage	\$1,000,000*	\$3,000,000*	BGL51 4.5
Nursery/Child Care Corporal Punishment Liability	\$1,000,000*	\$3,000,000*	BGL51 4.5
Supervision-Related Emotional Injury Liability Coverage	\$1,000,000*	\$3,000,000*	BGL51 4.5
Food Preparation Liability Coverage	\$1,000,000*	\$3,000,000*	BGL51 4.5
Privacy Violation Liability Coverage	\$1,000,000*	\$3,000,000*	BGL51 4.5
Damage To Property Of Others Coverage			BGL51 4.5
Not in Your Control	\$1,000*+	\$3,000,000*	BGL51 4.5
In Your Control	\$2,500*+	\$3,000,000*	BGL51 4.5
Prosthetic Devices	\$500*+	\$3,000,000*	BGL51 4.5
Incidental Camper Medical Coverage	\$10,000*	\$3,000,000*	BGL51 4.5
Additional Incidental Contractual Liability Coverage	\$1,000,000*	\$3,000,000*	BGL51 4.5

Defense Coverage

Applies in addition to the liability limit unless otherwise specifically stated in an applicable coverage form.

* Only a single limit applies to the loss. All coverage limits are subject to the general occurrence limit and all aggregate limits are subject to the general aggregate limit.
 + per person limit



NAMED INSURED First Presbyterian Church of Carson City
 POLICY NUMBER 27M5A0458297
 POLICY PERIOD 09/01/2022 at 12:01 a.m. to 09/01/2025 at 12:01 a.m.

Liability Coverage Summary

MinistryFirstsm commercial multi-peril policy Declarations continued...

The Coverages listed within these declarations are provided according to the terms of the designated coverage forms and any other applicable forms or endorsements. Only one liability coverage and one medical coverage will apply to an occurrence and any related loss. Any limit which is specifically stated within a coverage form or endorsement represents the most we will pay for the coverage to which such a limit applies. For application of limits, see Liability and Medical Coverage form (BGL11 4.5).

Fire Legal/Nonowned Property Damage Liability Coverage

COVERAGE DESCRIPTIONS	COVERAGE LIMIT	COVERAGE AGGREGATE LIMIT	FORM
Nonowned Property Damage Liability Coverage	\$300,000*	\$900,000*	BGL951 4.5
Additional Incidental Contractual Liability Coverage	\$300,000*	\$900,000*	BGL951 4.5

Media Liability Coverage

COVERAGE DESCRIPTIONS	COVERAGE LIMIT	COVERAGE AGGREGATE LIMIT	FORM
Personal Injury Liability Coverage (Media/Communications Activity)	\$1,000,000*	\$3,000,000*	BGL41 1.0
Personal Injury Liability Coverage (Personal Violations)	\$1,000,000*	\$3,000,000*	BGL41 1.0
Personal Injury Liability Coverage (Unauthorized Access/Posting)	\$1,000,000*	\$3,000,000*	BGL41 1.0
Special Defense Coverage (Alleged Intentional Acts)	\$1,000,000*	\$3,000,000*	BGL41 1.0

Nonowned Vehicle Coverage

COVERAGE DESCRIPTIONS	COVERAGE LIMIT	COVERAGE AGGREGATE LIMIT	FORM
Nonowned Vehicle Liability Coverage	\$1,000,000*	\$3,000,000*	BGL71 4.0
Defense Coverage: Authorized Operator	\$1,000,000*	\$3,000,000*	BGL71 4.0
Loss of Use Coverage	\$500 per vehicle	\$1,000*	BGL71 4.0
Trip Occupant Coverage	\$500*+	\$3,000,000*	BGL71 4.0
Damage to Property of Others Coverage	\$500*	\$3,000,000*	BGL71 4.0
Nonowned Vehicle Deductible Reimbursement Coverage	\$1,000*	\$3,000,000*	BGL71 4.0
Rental Vehicle Physical Damage Coverage	\$60,000 per vehicle, \$250 deductible	\$120,000*	BGL777 3.0
Nonowned Vehicle Medical Payments Extension	\$5,000*+	\$150,000*	BGL778 4.0

Other Liability Coverage

COVERAGE DESCRIPTIONS	COVERAGE LIMIT	COVERAGE AGGREGATE LIMIT	FORM
Terrorism Liability Coverage	\$1,000,000	\$3,000,000	BGL0250 3.1

* Only a single limit applies to the loss. All coverage limits are subject to the general occurrence limit and all aggregate limits are subject to the general aggregate limit.
 + per person limit



NAMED INSURED First Presbyterian Church of Carson City
 POLICY NUMBER 27M5A0458297
 POLICY PERIOD 09/01/2022 at 12:01 a.m. to 09/01/2025 at 12:01 a.m.

Liability Coverage Summary

MinistryFirstsm commercial multi-peril policy Declarations continued...

The Coverages listed within these declarations are provided according to the terms of the designated coverage forms and any other applicable forms or endorsements. Only one liability coverage and one medical coverage will apply to an occurrence and any related loss. Any limit which is specifically stated within a coverage form or endorsement represents the most we will pay for the coverage to which such a limit applies. For application of limits, see Liability and Medical Coverage form (BGL11 4.5).

Worldwide Liability Extension Coverage

Extended Foreign Ministry Operations- Excluded

COVERAGE DESCRIPTIONS	COVERAGE LIMIT	COVERAGE AGGREGATE LIMIT	FORM
Short-Term Trip Limited Kidnap and Extortion Expense Reimbursement Coverage	See Form	See Form	BGL112 1.0
Short-Term Foreign Trip Terrorism-Related Travel Interruption Reimbursement	See Form	See Form	BGL112 1.0
Short-Term Foreign Trip Death Reimbursement Coverage For Your Leaders	See Form	See Form	BGL112 1.0
Foreign Operations Image Restoration Extension	See Form	See Form	BGL112 1.0
Expanded Medical Coverage For Foreign Ministry Participants	See Form	See Form	BGL112 1.0

Wage Reimbursement Coverage

COVERAGE DESCRIPTIONS	COVERAGE LIMIT	COVERAGE AGGREGATE LIMIT	FORM
Wage Loss Reimbursement Coverage	\$3,500+	\$35,000 per occurrence	BGL99 4.0

Sexual Acts Liability Coverage

COVERAGE DESCRIPTIONS	COVERAGE LIMIT	COVERAGE AGGREGATE LIMIT	FORM
Sexual Acts Liability Coverage Without Screening	\$500,000*	\$1,500,000*	BGL61 4.7
Sexual Harassment Liability Coverage (other than your employees)	\$500,000*	\$1,500,000*	BGL61 4.7
Improper Reporting of Sexual Acts Liability Coverage	\$500,000*	\$1,500,000*	BGL61 4.7
Improper Supervision of Convicted Sexual Offenders Liability Coverage	\$500,000*	\$1,500,000*	BGL61 4.7
Outside Counseling Reimbursement Coverage	\$5,000*+	\$100,000*	BGL61 4.7
Sexual Acts Medical Payment Extension	\$10,000*+	\$100,000*	BGL61 4.7
Image Restoration Extension	\$10,000*	\$1,500,000*	BGL61 4.7
Redemptive Employment/Appointment	\$300,000*	\$300,000*	BGL613 4.5

* Only a single limit applies to the loss. All coverage limits are subject to the general occurrence limit and all aggregate limits are subject to the general aggregate limit.
 + per person limit



Liability Coverage Summary

MinistryFirstSM commercial multi-peril policy Declarations continued...

NAMED INSURED	First Presbyterian Church of Carson City
POLICY NUMBER	27M5A0458297
POLICY PERIOD	09/01/2022 at 12:01 a.m. to 09/01/2025 at 12:01 a.m.

The Coverages listed within these declarations are provided according to the terms of the designated coverage forms and any other applicable forms or endorsements. Only one liability coverage and one medical coverage will apply to an occurrence and any related loss. Any limit which is specifically stated within a coverage form or endorsement represents the most we will pay for the coverage to which such a limit applies. For application of limits, see Liability and Medical Coverage form (BGL11 4.5).

NAME	LOAN/REFERENCE NUMBER	INTEREST	ADDRESS
ECO: A Covenant Order of Evangelical Presbyterians, Additional Insured		Building: 2/1, Building: 2/2, Building: 1/1	5638 Hollister Ave Ste 210 Goleta, CA 93117 -3484

* Only a single limit applies to the loss. All coverage limits are subject to the general occurrence limit and all aggregate limits are subject to the general aggregate limit.
+ per person limit



NAMED INSURED First Presbyterian Church of Carson City
 POLICY NUMBER 27M5A0458297
 POLICY PERIOD 09/01/2022 to 09/01/2025
 AGENCY NAME Comstock Insurance Agency Inc

Policy Change History

MinistryFirstSM commercial multi-peril policy change history.

Change History

CHANGE EFF DATE	CHANGE DESCRIPTION	PREMIUM IMPACT	PROCESSED DATE
09/01/2023	Interior Building Damage Amended Law and Ordinance Deleted Law or Ordinance Added: 01/01 02/01 Liability Additional Insured Added	+ \$636	08/22/2023
09/01/2023	Rate Revision	See Declarations.	07/26/2023
09/01/2022	Number of Clergy Amended	- \$24-	08/24/2022
09/01/2022	Location 01 Changed	\$0	08/09/2022

MELVYN GREEN & ASSOCIATES – MELVYN GREEN, FOUNDER & STRUCTURAL ENGINEER

Melvyn Green and Associates, Inc. is a structural engineering and historic preservation firm that provides evaluation, design and research services to governmental agencies and private building owners. Services include seismic rehabilitation, building evaluation, structural engineering design and associated services.

Melvyn Green and Associates believes in the revitalization of the city and the preservation of our historic resources through conservation and reuse of the existing building stock; and through development of design methods and building regulatory processes that encourage the reuse of these resources while providing a safe building.

Melvyn Green and Associates was formed in 1972 by Melvyn Green, former Director of Building and Safety for the City of El Segundo, California. Melvyn Green is the Past President of the Structural Engineers Association of California. He is the Past Chairman of the American Society of Civil Engineers Standards Committee on Seismic Rehabilitation of Buildings. Mr. Green is active in several historic preservation organizations and engineering societies.

ABSTRACT MASONRY – KEVIN HADFIELD MANAGING PRINCIPAL/PRESIDENT

Abstract Masonry Restoration, Inc. is devoted exclusively to providing expert historic masonry restoration consulting and contracting services. We have been cleaning, repairing, and preserving historic masonry for over 3 decades. We only provide historic masonry restoration services. We do not build new masonry structures. We feel strongly that if we did build new masonry buildings, it would cloud our focus, and divert us from our passion and expertise in restoring historic masonry.

Many of the structures we have worked on are listed on the National or State historic registers. With over 2,000 projects under our belt, we have experienced just about any possible condition with historic masonry. From a chimney on a home in Salt Lake City to a complete restoration of Sante Fe Cathedral Basilica. We work on brick, stone, terra cotta, adobe, historic stucco, historic concrete, custom precast, and custom stone carving.

Kevin Hadfield Managing Principal/ President

Kevin has worked in masonry construction, preservation, and restoration for nearly 3 decades, during which time he spent some time in England and Wales studying historic masonry and the methods of craftsman of old. Kevin's tenacity for his work comes from the understanding that builders of historic structures put their whole heart and soul into the buildings they erected, often with very little means. The work that Abstract Masonry does today honors the work of these original craftsman by preserving their work for generations to come.

**Nevada Commission for Cultural Centers & Historic Preservation (CCCHP)
Grant Application – First Presbyterian Church Carson City (FPCCC)**

GRACE SPEICHER – PROJECT MANAGER

Grace Speicher is a member in good standing of the First Presbyterian Church and will function as Project Manager for this project. She is a past Elder of Session, the ruling body of the church. During her six years, she was head of personnel.

Grace retired as Financial Manager from the Nevada Division of the Federal Highway Administration in 2013 after 21 years of service. She managed all Federal dollars spent on Nevada Department of Transportation projects.

Since retirement, Grace has spent her time volunteering at the church to help in the preservation of the old sanctuary at 110 N. Division Street. As a co- chair of the steering committee, she is coordinating fund-raising projects including the annual Chili Cookoff, garage sale, and Holiday Craft Fair.

Grace believes that the preservation of our old sanctuary will provide an historic building that will be used by the church congregation and community of Carson City and beyond.