

NEVADA COMMISSION FOR
CULTURAL CENTERS AND HISTORIC PRESERVATION (CCCHP)
GRANT APPLICATION FOR FY2019-2020

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Initials: CH
Received: 02-27-2020
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APPLICATION COVER PAGE (This unaltered form must be submitted with the application.)

Applicant Organization: Nevada Division of State Parks
EIN (Taxpayer Identification Number): 88-60000-22
Mailing Address: 901 South Steward Street, Suite 5005
City: Carson City County: Consolidated Municipality of Carson City ZIP: 89701

Project Contact: Jay Howard Title: Conservation Staff Specialist
Daytime Phone: 775 684-2740 Evening Phone: 775 301-3098

Fax: 775 684-2777 Email: j.howard@parks.nv.gov

Project Title: Phase 3 Bunk House Restoration and Interpretive Center
Project Address: Lake Tahoe Nevada State Park, Spooner Backcountry near Hobart Lake (project site is located approx. 7 miles west of Lakeview in Washoe Valley, on Hobart Road)
City: N/A County: Washoe ZIP: N/A

Project Type: Rehabilitation/Construction Planning/Construction Architectural/Engineering Study/Construction

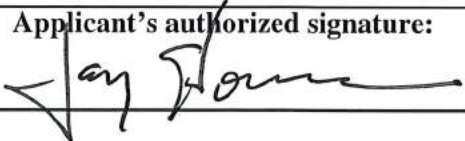
Historic Property Name: Red House Historic Site Complex Date Built: spring 1911

Property Insured: Yes; please enclose one copy of policy No; please explain: All facilities within Lake Tahoe Nevada State Park are self-insured through the State Risk Management. Please see attached.

Project Synopsis (brief): **The Phase 3 Bunk House Restoration and Interpretive Center Project is the next step in the general restoration of the Red House Historic Site Complex in the Spooner Backcountry of Lake Tahoe Nevada State Park. Project elements will comprise the renovation of the bunk house structure to include a new foundation, roof, period door and windows, and paint, as well conversion of the structure into an interpretive center. Here, the story of Red House will be conveyed to the public, as well as its importance to the Comstock.**

Proposed Start Date: February 1, 2021 (contracting) Proposed End Date: October 31, 2021

Project Budget Summary:	
Amount Requested:	\$ <u>226,805.52</u>
Proposed Match: Cash	\$ <u>39,650</u>
In-Kind/Donations:	\$ <u> </u>
Total Project Budget:	\$ <u>266,455.52</u>

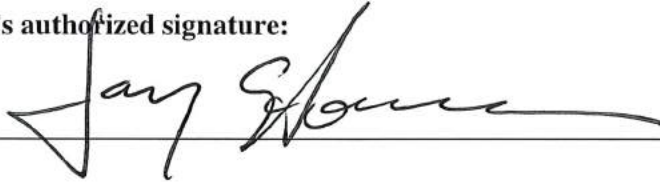
Applicant's authorized signature:

Name (please print): Jay Howard
Title: Conservation Staff
Specialist Date: 02/23/2020

I HAVE READ THE 2019-2020 CCCHP APPLICATION GRANTS MANUAL*

PLEASE NOTE—IF THIS PAGE IS NOT SIGNED, THE APPLICATION IS CONSIDERED INCOMPLETE, AND CANNOT MOVE FORWARD IN THE FUNDING PROCESS.

I HAVE READ THE GRANTS MANUAL AND COMPLETED THIS CCCHP APPLICATION FOR 2019-2020 AND CERTIFY THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

Applicant's authorized signature:



Title: Conservation Staff Specialist/Project Manager

Name (please print): Jay Howard

Date: 02/23/2020

Commission for Cultural Centers and Historic Preservation (CCCHP)

2020 Grant Program

PART II - APPLICATION NARRATIVE DESCRIPTION

RED HOUSE HISTORIC SITE COMPLEX

Background

Originally known as the Hobart Creek Station, and now commonly referred to as Red House, this historic resource is located in the Spooner Backcountry of Lake Tahoe Nevada State Park. Red House is the last remaining Sierra flume-tender station for the Comstock-era Virginia Gold Hill Water System, built originally in 1887. The system is now known as the Marlette Lake Water System. At its peak during the 1880's, this water system included 46 miles of box flume, 21 miles of pressure pipe, a 3,994-foot tunnel, and 4 reservoirs. Red House sits on a sloping site below the Hobart Creek Reservoir and above the water system's diversion dam at an elevation of roughly 7,240 feet above sea level in the Carson Range of the Sierra Nevada Mountains.

Red House is listed as a contributing resource of the Marlette Lake Water System Historic District and was added to the National Register of Historic Places in 1979. Red House was originally built in the 1880's to serve as one of six flume-tender stations to house a water system employee and his family. Flume-tenders were responsible for maintaining the flow of water year-round and making repairs to the miles of wooden box flumes in a designated portion of the water system. It was critical to the success of the Comstock Mining District that a vast supply of water be delivered to the mines and mills during the bonanza period of the 1860's, 1870's, and 1880's. Historians agree that the mining district in Virginia City and Gold Hill could not have reached its full potential without a substantial and reliable source of water. During the early years of the Comstock, local water sources soon proved inadequate and unreliable.

The Red House Site Complex includes the main house, a crew bunk house, the original Hobart Creek diversion dam (1873), and other ancillary remains of a barn, outhouse, box flumes, various outbuildings and pathways. The bunkhouse was used to accommodate summer work crews to help the flume-tender with flume repairs and upgrades to the water system. The current flume tender's station and bunkhouse was constructed in the summer of 1911 to replace the original structures which were washed away when the Hobart Reservoir dam broke on February 13, 1911. Two flume-tender wives lost their lives in this terrible accident. By the mid-1950s, the aging water system had changed hands several times until it was sold in 1963 to the State of Nevada for \$1,650,000. The last year-round attendant to live in Red House was probably sometime during the 1930s or early 1940s; the house was maintained as an emergency shelter by Red McGovern until 1960. Red House has not been occupied since the State took possession in 1963.

Type of Construction

Both the main house and bunk house are a plank frame house, or "plank on frame" housing consisting of a timber frame with walls made of vertical planks attached to the frame. Plank framing is also known as single-wall, board and batten, box-type, shanty, and milled board construction. Other than narrow vertical supports at openings and building corners, there are typically no posts, columns, or studs holding up the roof. The single wall was often the product of manufactured components; milled one by twelve wall boards, milled one by three battens, two by six joists, and a few factory sash windows and doors. Walls were typically constructed in units on the ground and then raised into place to form rooms. Openings for windows and doors were cut after the units were assembled, and sometimes not until after the units were erected into rooms.

Stabilization and Repairs

Prior to recent work, the Red House Site Complex (to include the bunk house) was in very poor condition overall. The porch on the main house was collapsing, the roof was leaking, and it was missing a significant quantity of floorboards. The bathroom ceiling consisting of wood laminated panels, likely a 1940s improvement, had partially collapsed because of the roof leaks. The interiors of both buildings were filled with debris (and some artifacts) and animal droppings. Exterior siding and trim on both structures was also extremely deteriorated. The Red House complex was partially stabilized by the Youth Conservation Corps for State Parks in 1978.

The bunk house fully collapsed in the late 1980's due to a leaking roof and heavy snow load. Nevada State Parks commissioned a study (McFadden and White, 1990), which made recommendations on site repairs. Subsequently, the bunkhouse was rebuilt utilizing modern framing techniques and reclaiming/re-using the existing exterior board and batten siding. At this time, the window configuration was mistakenly changed to add two additional openings. The main house porch was rebuilt and both structures got minor repairs to include new roofs and securing the existing openings (1997).

In 2014, a *Red House Preservation Plan* (Dube Group) was prepared that laid out a three-phase plan to stabilize and weatherize structures at the site. Phase 1, completed in 2015, included setting Red House on a new foundation (and removal of the original cut granite foundation stones), reconstructing the front porch, and stabilizing the site with new stacked boulders and drainage swales to carry water away from the main house. Phase 2 of the project, an exterior rehabilitation of the main house, is currently being implemented and includes a new roof, replacement of the board and batten siding and trim, period correct doors and windows, and for the finishing touch, Red House is being painted (which hasn't happened for over 60 years). To complete this phase of construction, a general cleanup is being done, minor repairs to the ceiling damage, and temporary plywood is being laid down to protect the original tongue and groove flooring.

Lastly, plans are underway for Phase 3 to include giving the bunkhouse the same treatment as the main house - a new foundation, roof, siding, period door and windows, and paint. The Park also envisions this structure as being 'finished' on the inside as an interpretive center, with displays and large format historic photographs, to tell the vivid and rich story of Red House and the related Comstock-era water works.

1. Project Description

The Phase 3 Bunkhouse Restoration and Interpretive Center is a planned preservation effort of the existing bunk house, and interior renovation as an Interpretive Center. Planning is underway with consultant Dube Group Architecture to implement the same exterior restoration treatment as was done with the main house – structural lifting and installation of a permanent concrete stem wall and foundation, new stronger roof, new exterior plank siding (board and batten), new period door and windows (two (2) - one / one windows, in the rear main wall of the structure, and rear gable end), and paint. The window configuration will also be taken back to pre-1990's repair, as shown by historical photographs. All construction will maintain the historical use of this structure was much like that of the main house – they were built to be very utilitarian, by the most efficient means possible, for a remote and rustic setting. Materials would have been brought in or secured on site. The bunkhouse is currently resting on several large cut granite boulders (original construction), but in 1997 with the reconstruction effort, some additional light footings were put in place. Planning engineers have now determined that the only way to more permanently secure the building, a full stem wall and foundation is necessary. As discussed previously, the roof and siding of the structure is showing significant deterioration as well. These items too, along with a fresh coat of primer and paint, need to be replaced. This

is, in effect, the same treatment we are currently applying to the main house. With completion of foundational and exterior improvements to the bunkhouse, the two main structures of the Red House Historic Site Complex will be stabilized and secured for many decades to come. It will also allow a more formal starting point for Nevada State Parks to employ a regular system of maintenance to protect the site.

In addition, we envision that the interior space of the bunk house will be renovated into a self-guided interpretive center with full-color history panels and large format historic photographs. We believe that 6 to 8 - 36x48 inch interpretive panels should be mounted in either outdoor style frame pedestals, or rustic looking cabinets. As mentioned, large format historic photos will likely adorn the walls as well. But, since the intention is for this building to be left open throughout the summer season for self-guided entry, all panels and photographs will need to be secured in a vandal-proof, outdoor type fashion. The interior is currently empty, and as the public enters the building, they see the modern methods of the 1997 reconstruction. As you might imagine, this is anything but 'period' correct. Our intention is to cover the interior 2x4 studs with a period correct wall board, and lay boards or planks under the roof sheeting so the 'open ceiling' has a period correct look as well. The flooring will be simple plank boarding; all this to give the interior a circa 1915 original look...that of a very simple, plain and functional design. This renovated structure will allow for the very important story of Red House and the Virginia Gold Hill Water System, to be thoroughly conveyed to the public, along with its overall importance to the Comstock and the development of the State of Nevada.

The owner of the Red House Historic Site Complex is the State of Nevada, and its management is the responsibility of the Nevada Division of State Parks. The stewards responsible for daily operations is the staff of Lake Tahoe Nevada State, with a dedicated full-time park ranger responsible for all facilities within the Spooner Backcountry. The proposed phase 3 restoration project will be overseen and managed by the planning department of the division. Nevada State Parks has recently contracted with Dube Group Architecture for planning services. Dube is responsible for construction drawings, bidding service assistance, and project construction oversight. This firm has a long history with historic architecture and restoration projects. They have worked on several culturally sensitive projects in Virginia City, as well as other locales throughout Nevada. Once the project budget is complete, we will move into a selection phase for an independent contractor. This contractor is unknown at this time but Request for Proposal contracting guidelines will require a contractor with experience in historical structure architecture. In fact, selection procedures will require the pre-evaluation of at 3 cultural-related construction projects within the last 5 years, for each bidder.

The timeline for this project is as follows:

- January - May 2020  Planning and Design
- February – November 2020  Project Funding and Budget
- January – March 2021  Bidding and Contracting
- May – October 2021  Construction and Project Completion

2. Building Use / Community Involvement

The restored Bunkhouse facility will be used by the public to understand how the Red House Historic Site Comstock was used in the past to ensure that critical water resources were supplied to the Comstock Mining District during its peak time of operations and importance. They will also learn about the various elements of the larger water system, and why it's listed as a Historic Engineering Landmark (1975) by the American Society of Civil Engineers. This water system was truly an engineering feat for its time and was built utilizing technology that had never been implemented. For example, at the time it was the highest pressure pipeline in the world, at 815 psi.

As described earlier, this facility will be open to the general public, any visitor to the backcountry of Lake Tahoe Nevada State Park, and without any special fees. The staff of the park will be responsible for maintaining the site, ensuring its protection from vandalism and disrepair, and operating annual tours to the site – again, open to the public with no special fees. Visitors can also visit the site on their own and enter the building during the summer months (it will be locked and secured in the off-season) and tour the facility on a self-guided basis. To be clear, the site is in a non-motorized backcountry which allows hiking, mountain bike, and equestrian access only. Vehicular access must be on tours led by park staff. These tours will originate at the Spooner Lake Visitor Center and Amphitheater with thorough discussions on the history of the site, and any site-visit expectations. These tours are incorporated into a larger menu of park programs and activities.

Through past tours, the local community is aware of the historic resource at Red House. There have been countless tours to the site over the years. It is the desire of Nevada State Parks to expand on the frequency of tours and share the story of the Comstock with more people than ever. At the current time, there is an average of 60 people that visit the site on 2 annual tours, and literally hundreds of visitors that visit the site each year on their own. The park considers all these visitors to be partners in the desire to pursue restoration efforts. Tours are extremely popular, and Red House is the center piece of what is known as the 'Comstock Water History Tour'. It is a common theme amongst visitors that they desire and support restoration efforts at the Red House Historic Site Complex.

A more direct community partner in the effort to preserve and restore is the non-profit Thunderbird Lodge Preservation Society. Lake Tahoe Nevada State Park has been coordinating with Bill Watson of the Society since the beginning of restoration efforts in 2015. Mr. Watson has been an avid supporter of restoration efforts since that time. In fact, the Thunderbird Lodge Preservation Society was instrumental in kick-starting the restoration effort in 2014/2015 by donating \$5,000 to the project in order to assist in leveraging Federal dollars through another Heritage grant program, administered by the State Historic Preservation Office.

Lastly, this project has been discussed and coordinated with board members Steven Saylor and Donald Bergstrom of the non-profit Comstock Foundation. Several board members attended a site visit to the Red House Complex in 2019 where past and future plans for the facility were discussed. They too are supporters of restoration efforts and are sharing information with the larger public.

The visitor community of Lake Tahoe Nevada State Park, Thunderbird Lodge Preservation Society, and the Comstock Foundation, will continue to be partners in the restoration efforts of the Red House Historic Site Complex. Tours will continue and will in fact be supported by the new Spooner Visitor Center and Amphitheater facility in the park. In addition, I would propose that the value a resource such as Red House has to tourism in Nevada is certainly significant, when one considers the importance visitor surveys put on maintaining access to historic facilities and providing interpretive programming, as supported by the 2016 State Comprehensive Outdoor Recreation Plan (SCORP). In addition, the Nevada Outdoor Recreation Report identifies recreation as representing 12.6 million dollars of Nevada's overall economy and goes to supporting approximately 87,000 jobs. Access to historic facilities, and high-quality interpretive programming, is a major contributor to this sector of the Nevada economy.

3. Project Support/Financial

To date, the Phase 3 Bunkhouse Restoration and Interpretive Center project has the following financial contribution:

Nevada Division of State Park funding - \$34,650 Planning and Design, contract with Dube Group

- Anticipated funding assistance – \$5,000, Thunderbird Lodge Preservation Society
- Anticipated funding assistance – CCCHP
- Anticipated funding assistance (as needed) – Nevada Division of State Parks

Past project related funding:

Red House Phase 1 Stabilization (2015):

- Nevada Division of State Parks - \$88,509; Historic Preservation Fund Grant (HPF) - \$123,745; Thunderbird Lodge Preservation Society - \$5,000 (planning and construction)

Red House Phase 2 Exterior Rehabilitation (2019)

- Nevada Division of State Parks - \$253,850 (planning and construction)

Nevada State Parks was established in 1935 and has been implementing projects successfully across the state for over 80 years. Lake Tahoe Nevada State Park began with a lease of eight acres at Sand Harbor in 1958 and has managed projects in the park for 47 years. Project management is normally the responsibility of the NDSP Planning and Development department, and other program planners, but most projects involve park field staff as well. It is always a team effort. Since the year 2000, several of the more extensive projects at Tahoe have been the Memorial Point Overlook and Restroom, Shakespeare Performance Stage Facility, Sand Harbor Visitor Center and Food Concession, Sand Harbor Restroom Replacement, Van Sickle Phase One Development, and the Cave Rock Parking Rehabilitation. Most of these projects were multi-million dollar endeavors, involving multiple grant sources, and with all being successfully implemented. As stated in the attached 'Agency Mission and Information', Nevada State Parks is committed to maintaining the facilities within the boundaries of its parks, both in practice, and financially. Successfully meeting these goals and maintaining a viable park program with the financial backing of the State of Nevada, NDSP has not wavered in those 80 years, and facility operations are anticipated to continue long into the future.

4. Planning

This specific grant application does not include a request for planning assistance. Funding for the Bunkhouse Phase 3 project has already been secured from Nevada Division of State Parks. Planning and design services have been put in place for Dube Group to provide construction documents, project estimates, contract bidding services, and construction oversight. This is a shovel-ready project that can be implemented in 2021, or as soon as funding is available. A draft set of construction documents have been provided in this grant application package. Dube Group project estimates are also included in the Part III Project Budget. Their work is being coordinated by Jay Howard and Dana Dapolito of Nevada Division of State Parks (Planning Department). The overall project is being overseen by a team of professionals to include others such as Tim Hunt, NDSP Chief of Development, LTNSP park supervisor Allen Wooldridge, and park ranger Steve Micklus. Also, in an effort to involve other interest groups and the larger community, project goals have been shared with several representatives of the Comstock Foundation, to include board members Steven Saylor and Donald Bergstrom. Lastly, Bill Watson and the Thunderbird Lodge Preservation Society has been coordinated with and is a project supporter.

End of Part II Narrative.

GRANT APPLICATION FOR 2019-2020
PART III BUDGET FORM

Applicant: Nevada Division State Parks, representative: Jay Howard

1. Personnel:

	Position Title	Hours	Hourly Rate (HR)	✓ if HR includes Fringe Benefits	% of HR that is a fringe benefit	Amount of fringe benefit	Total Amt	State Share	Non-State Share
a.						0.00	0.00		
b.						0.00	0.00		
c.						0.00	0.00		
d.						0.00	0.00		
e.						0.00	0.00		
f.						0.00	0.00		
g.						0.00	0.00		
h.						0.00	0.00		
i.						0.00	0.00		
j.						0.00	0.00		
Sub-total:							\$0.00	\$0.00	\$0.00

2. Travel: (see GSA rates in the application document)

		Rate	Miles/# of days	Total Amount	State Share	Non-State Share
a.	Mileage					
	1. Person #1-			0.00		
	2. Person #2-			0.00		
b.	Per Diem (Breakfast)			0.00		
	Per Diem (Lunch)			0.00		
	Per Diem (Dinner)			0.00		
c.	Transportation costs (parking fees, taxi, etc.)			0.00		
d.	Lodging					
	1. Weeknight (Sun-Th)			0.00		
	2. Weekend (Fri-Sat only)			0.00		
e.	Other:			0.00		
f.	Other:			0.00		
Sub-total:				\$0.00	\$0.00	\$0.00

GRANT APPLICATION FOR 2019-2020
PART III BUDGET FORM

3. Contractual Services: Attach itemized lists or contractor quotes showing the breakdown of materials and labor costs for all proposed work items

	Contractual Service	Total Amount	State Share	Non-State
a.	General Conditions, Insurance and Bonding, Mobilization and Demob, Equipment Rental and tools	37,150.00	37,150.00	
b.	Labor - carpenters, structural and architectural	48,000.00	48,000.00	
c.	Selective Demolition and Removal - foundation, roof and framing, siding and trim, openings, and cleaning	19,400.00	19,400.00	
d.	Architectural Materials - roofing shingles and underlayment, flashing, siding and trim, door, windows, and paint	53,734.60	53,734.60	
e.	Structural Materials - earthwork and foundation, sill plate and anchors, roof framing	30,720.00	30,720.00	
f.	Remote Site and Profit Estimate	37,800.92	37,800.92	
Sub-total:		\$226,805.52	\$226,805.52	\$0.00

4. Operating: List estimated operating expenses relating to the proposed project.

	# of	Rate	Flat Rate	Amount	State Share	Non-State
a.	Photocopying					
b.	Film and Processing					
c.	Maps					
d.	Postage					
e.	Telephone					
f.	Utilities					
g.	Supplies (specify):					
h.	Other (specify):					
i.	Other (specify):					
Sub-total:				\$0.00	\$0.00	\$0.00

5. Other (please specify or attach detailed budget):

	Rate	Amount	State Share	Non-State
a.	Planning and Design, Dube Group	\$34,650		\$34,650
b.	(see attached contract summary)			
c.				
d.				
e.				

f.				
g.				
h.				
		Sub-total:	\$34,650.00	\$0.00
				\$34,650.00

GRANT APPLICATION FOR 2019-2020
PART III BUDGET FORM

6. Section #1- 5 Subtotals:

		Amounts	State Share	Non-State Share
1.	Personnel	0.00	0.00	0.00
2.	Travel	0.00	0.00	0.00
3.	Contractual Services	226,805.52	226,805.52	0.00
4.	Operating	0.00	0.00	0.00
5.	Other	34,650.00	0.00	34,650.00
		Sub-total:	\$226,805.52	\$34,650.00

7.	Requested State Share Total:	Subtotal:	\$226,805.52
8.	Potential Non-State Share: Thunderbird Lodge Preservation Society contribution, still pending.	Subtotal:	\$5,000.00
9.	Actual Non-State Share:	Subtotal:	\$34,650.00
10.	Proposed Project Costs Grand Total:		\$266,455.52

Commission for Cultural Centers and Historic Preservation (CCCHP) 2020 Grant Program

APPLICATION ATTACHMENTS

- 1. AGENCY MISSION STATEMENT / GOALS / RELATED PROJECT EXPERIENCE**
- 2. AGENCY ORGANIZATIONAL CHART (in lieu of 'List of Board Members')**
- 3. STATE SELF-INSURED LETTER**
- 4. DUBE GROUP PROJECT QUOTE**
- 5. 2013 / 2018 AGENCY AUDIT SUMMARY**
- 6. DUBE GROUP CONTRACT SUMMARY reflecting the NDSP Agency Share - \$34,650**
- 7. RED HOUSE / THUNDERBIRD LODGE PRESERVATION SOCIETY CORRESPONDENCE reflecting their Partnership and Financial Commitment**
- 8. RESUMES – Jay Howard (NDSP), Pete Dube (Dube Group), and Alex Malm (Dube Group)**
- 9. PROJECT LOCATION**
- 10. SITE PICTURES**
- 11. SAMPLE BUNK HOUSE INTERIOR RENDERING**
- 12. PROJECT DESIGN PLANS (Included Separate from this Document)**

AGENCY MISSION STATEMENT, GOALS, AND RELATED INFORMATION

Nevada State Parks was established in 1935 and has been implementing projects successfully across the state for over 80 years. With over two hundred full time and seasonal park staff, the employees of the agency are a diverse group that have a variety of park management, grant, and project experience. The Red House Phase 3 Bunkhouse Restoration and Interpretive Center project is led by a team of specialists to include Tim Hunt - Chief of Planning and Development, Dana Dapolito - Parks and Recreation Program Manager, Jay Howard - Lake Tahoe EIP Program Manager, and Steve Micklus - Spooner Lake Park Ranger. Together they bring over 50 years of planning and grants experience to the project. Jay and Dana have worked in the Tahoe Basin for a majority of their working years and are well-versed with Tahoe issues and project management. The project is also being co-managed and designed by the private sector firm Dube Group Architecture. The project team lead with Dube Group is Pete Dube, who brings a depth of planning and project development experience in historic structure restoration to the table.

Nevada Division of State Parks was founded with a bill that was passed in the Nevada legislature to form a new state park agency within the Department of Conservation and Natural Resources. Today the Division manages and maintains 28 parks, many that have multiple units like Lake Tahoe Nevada State Park. The objectives of NDSP are (Mission Statement):

- **To manage, protect, and maintain existing and future units of the Nevada State Park system.**
- **To acquire, plan for and develop a well-balanced system of areas of outstanding scenic, recreational, scientific and historical importance.**
- **To interpret and provide education on the natural, cultural and recreational resources found within the State Park system.**
- **To provide recreational and cultural destinations that are of economic benefit to nearby communities.**

You'll notice that a consistent and overarching concept in all of these objectives is to 'maintain and protect'. And certainly to include facilities of Scientific and Historical Importance - to provide Interpretation and Education on Cultural Resources - and to provide Cultural Destinations that are of Economic Benefit to nearby communities. As soon as a structure is developed, or in our case restored, within an area managed by Nevada State Parks, it falls within the web of responsibility that any park facility would. Nevada State Parks does all within its power, with the backing of the State of Nevada, to properly maintain its facilities for the visitors of the State of Nevada. The Red House Historic Site Complex, and Phase 3 improvements, are included in this mission, and will be fully maintained moving forward.

The agencies Long Range Plan is to pursue its Mission, as state above. These Mission goals are reviewed every 5 years, and incorporated into the agencies Vision Planning with plan exercises conducted by its planning department, and normally executed in conjunction with the Nevada SCORP Update.

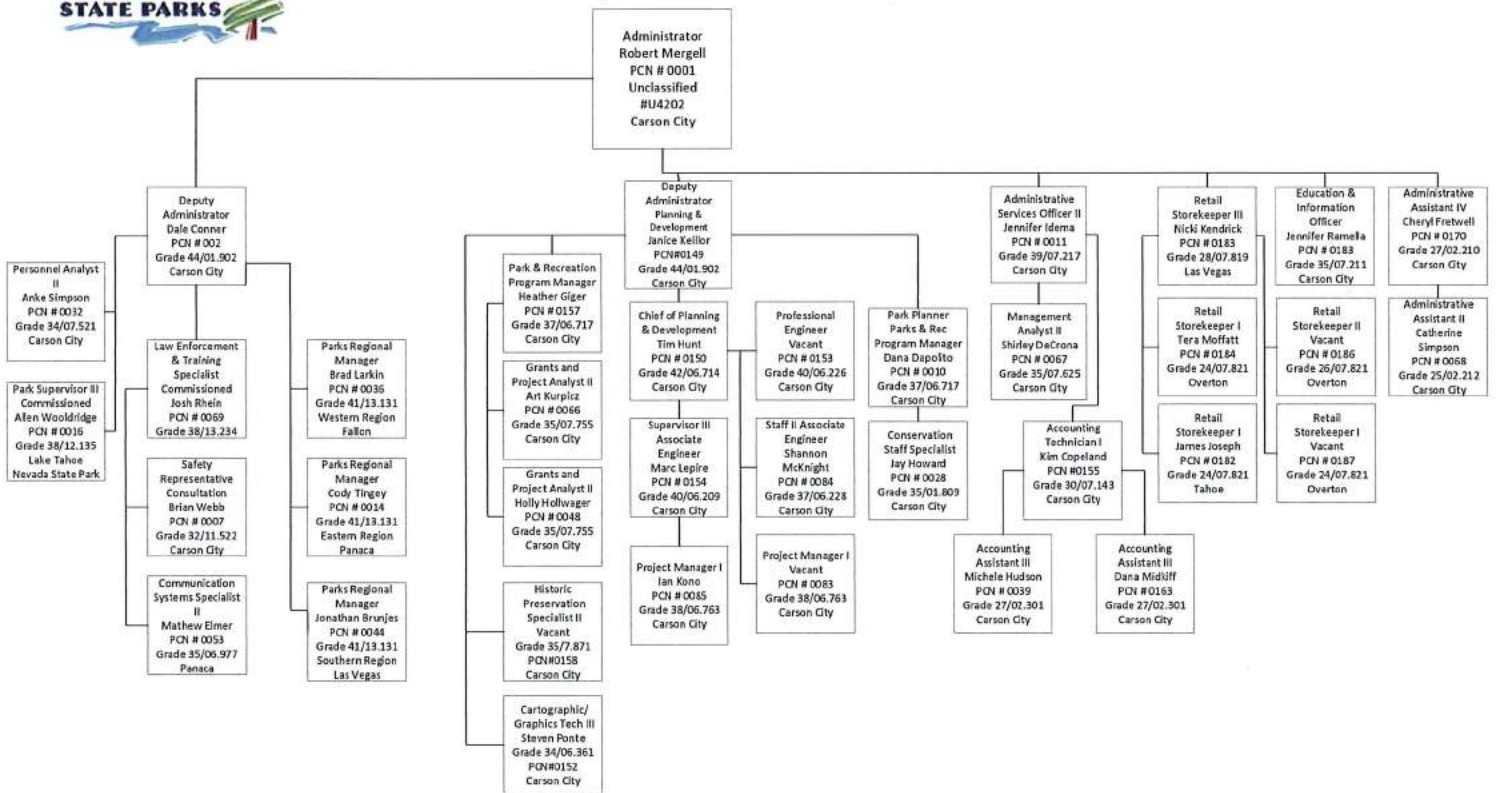
Three important related projects conducted by the agency in the last fiscal year (2018/2019) are:

1. Spooner Frontcountry Improvements Phase 1 Visitor Center and Amphitheater project,
2. Ice Age Fossils Visitor Center and Park Development project, and
3. Walker River State Recreation Area Park Development project (to include a visitor center and wide variety of cultural restoration elements).

Please also see the attached Agency Organizational Chart, in lieu of 'List of Organizational Board Members'.



**Department of Conservation & Natural Resources NEVADA DIVISION OF STATE PARKS,
Division Organizational Chart
(in lieu of 'List of Board Members')**



Steve Sisolak
Governor



Peter Long
Interim Director

Mandy Hagler
Risk Manager

STATE OF NEVADA
DEPARTMENT OF ADMINISTRATION
Risk Management Division

201 S. Roop Street, Ste. 201 | Carson City, Nevada 89701
Phone: (775) 687-1750 | www.risk.nv.gov | Fax: (775) 687-3195

DECLARATION OF SELF INSURANCE FOR LIABILITY CLAIMS

To Whom It May Concern:

The State of Nevada and the Nevada System of Higher Education (NSHE) are self-insured for liability claims pursuant to the provisions of the Nevada Revised Statutes, Chapter 41.

A liability claim against the State or the NSHE will be handled in accordance with the Nevada Revised Statutes, Chapter 41.

Questions regarding this matter can be forwarded to the State of Nevada, Risk Management Division at (775) 687-1756 or the Office of the Attorney General at (775) 684-1263.

This declaration has no expiration date.

By: *Mandy Hagler, Administrator*
State of Nevada, Risk Management Division

RED HOUSE Phase 3 Bunk House

Project no. 19-1300

OPINION OF PROBABLE CONSTRUCTION COST

Date : 2/20/2020

By : DGA

CIVIL | STRUCTURAL | ARCHITECTURAL

ITEM / DESCRIPTION	APPROX QUANTITY	UNIT	UNIT COST	ESTIMATED COST
Division 1 General Requirements				
1 Mobilization / Demobilization	1	LS	\$ 4,000.00	\$ 4,000.00
2 General Conditions	3	MO	\$ 8,450.00	\$ 25,350.00
3 Carpenters - (2) laborers at 40 hours / week x 12 weeks	960	HR	\$ 50.00	\$ 48,000.00
4 Insurance & Bonding	1	LS	\$ 2,500.00	\$ 2,500.00
5 Equipment and Tools	1	LS	\$ 5,300.00	\$ 5,300.00
Division 2 Existing Conditions				
1 Selective Demolition/Disposal - Existing Foundation	1	LS	\$ 2,400.00	\$ 2,400.00
2 Remove existing roofing / framing	5	SQ	\$ 400.00	\$ 2,000.00
3 Temporary Shoring and Jacking	1	LS	\$ 15,000.00	\$ 15,000.00
Division 3 Concrete				
1 New perimeter foundation / grade beam (forms, reinforcing steel, concrete)	72	LF	\$ 175.00	\$ 12,600.00
Division 6 Wood and Plastics				
1 Sill Plate and Anchors	72	LF	\$10.00	\$720.00
2 Roof Framing (Rafters, Ties, Hardware, Plywood)	320	SF	\$45.00	\$14,400.00
3 Misc Connections, Blocking, Framing, Backing, steps	1	LS	\$7,500.00	\$7,500.00
4 Exterior Wood Siding Quote	1	LS	\$ 4,500.00	\$ 4,500.00
5 Misc. supplemental framing, trim, soffit boards, plywood sub-floor	1	LS	\$ 4,500.00	\$ 4,500.00
6 Flooring (1x6 Boards)	293	SF	\$ 3.00	\$ 879.00
7 1x6 Interior Boards Applied to Studs	952	SF	\$ 4.05	\$ 3,855.60
8 1x4 Interior Boards Applied to Rafters	500	SF	\$ 4.05	\$ 2,025.00
9 30-lb. asphalt-saturated building paper (siding)	952	SF	\$1.75	\$1,666.00
Division 7 Thermal and Moisture Protection				
1 Waterproof, 60 mil bituthene membrane (roofing)	374	SF	\$5.00	\$1,870.00
2 Cedar breather underlayment	952	SF	\$4.00	\$3,808.00
3 Cedar shingles	5	SQ	\$1,100.00	\$5,500.00
4 Misc. flashing - Cor-10; chimney	1	LS	\$3,500.00	\$3,500.00
Division 8 Openings				
1 Exterior doors, incld. Hardware and installation	1	EA	\$2,100.00	\$2,100.00
2 Exterior windows, incld. Installation	2	EA	\$3,000.00	\$6,000.00
3 Crating and shipping of windows	1	LS	\$2,100.00	\$2,100.00
Division 9 Finishes				
1 Exterior Painting - siding (red) incl. back-prime six sides	952	SF	\$3.50	\$3,332.00
2 Exterior Painting - trim, soffit, fascia (white)	250	LF	\$0.92	\$230.00
3 Exterior Painting - exposed perimeter concrete (red)	180	SF	\$2.05	\$369.00
Division 31 Earthwork				
1 Foundation Excavation	5	CY	\$400.00	\$2,000.00
2 Backfill and Compaction	5	CY	\$200.00	\$1,000.00
			Sub Total	\$ 189,004.60
			10% Remote Site	\$18,900.46
			10% Profit	\$18,900.46
				\$226,805.52

STATE OF NEVADA

Performance Audit

State Department of Conservation and Natural Resources
Division of State Parks

2018



Legislative Auditor
Carson City, Nevada

STATE OF NEVADA
LEGISLATIVE COUNSEL BUREAU

LEGISLATIVE BUILDING
401 S. CARSON STREET
CARSON CITY, NEVADA 89701-4747



LEGISLATIVE COMMISSION (775) 684-6800
JASON FRIERSON, *Assemblyman, Chairman*
Rick Combs, *Director, Secretary*

INTERIM FINANCE COMMITTEE (775) 684-6821
JOYCE WOODHOUSE, *Senator, Chair*
Mark Kinnpotic, *Fiscal Analyst*
Cindy Jones, *Fiscal Analyst*

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(775) 684-6800


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ROCKY COOPER, *Legislative Auditor* (775) 684-6815
MICHAEL J. STEWART, *Research Director* (775) 684-6825

Legislative Commission
Legislative Building
Carson City, Nevada

This report contains the findings, conclusions, and recommendations from our performance audit of the State Department of Conservation and Natural Resources, Division of State Parks. This audit was conducted pursuant to the ongoing program of the Legislative Auditor as authorized by the Legislative Commission. The purpose of legislative audits is to improve state government by providing the Legislature, state officials, and Nevada citizens with independent and reliable information about the operations of state agencies, programs, activities, and functions.

This report includes seven recommendations to strengthen administrative processes over fee collections, fuel card oversight, and concessionaire payments. We are available to discuss these recommendations or any other items in the report with any legislative committees, individual legislators, or other state officials.

Respectfully submitted,



Rocky Cooper, CPA
Legislative Auditor

October 2, 2018
Carson City, Nevada

Audit Highlights



Division of State Parks

State Department of Conservation and Natural Resources

Highlights of performance audit report on the Division of State Parks issued on October 29, 2018. Legislative Auditor report # LA18-22.

Background

The Division of State Parks (Division) was established in 1963, within the State Department of Conservation and Natural Resources. The Division's mission is to provide safe outdoor recreation opportunities for the use, enjoyment, and education of current and future generations, while providing economic benefit to the state and local communities. The Division also preserves and protects scenic, historic, and scientifically significant areas in Nevada.

Nevada state parks are divided into three regions: northern, eastern, and southern. The Division operates 28 state parks that serve over 3.5 million visitors each year.

The Division's main office is located in Carson City with regional offices in Fallon, Las Vegas, and Panaca. In fiscal year 2017 about 43% of the Division's 185 employees were seasonal. Of the 106 permanent positions, 31 were commissioned Nevada peace officers. The Division has seven budget accounts with total expenditures of \$14.9 million in fiscal year 2017.

Purpose of Audit

The purpose of this audit was to evaluate the Division's processes relating to the collection of park fees, and the administration of fuel cards and concessions contracts. Our audit focused primarily on the Division's fiscal year 2017 activities; although, we also reviewed fee collection processes in fiscal year 2018, and prior years' concession revenue relating to current concession contracts.

Audit Recommendations

This audit report contains seven recommendations to strengthen administrative processes over fee collections, fuel card oversight, and concessionaire payments.

The Division of State Parks accepted the seven recommendations.

Recommendation Status

The Division of State Parks' 60-day plan for corrective action is due on January 29, 2019. In addition, the six-month report on the status of audit recommendations is due on July 29, 2019.

Summary

The Division can strengthen certain administrative processes over collecting park fees, tracking fuel card use, and reviewing concessionaire payments. Division policies and procedures over the fee collection process are inadequate and leave the Division vulnerable to theft. Additionally, diversifying payment methods and enhancing compliance controls and enforcement could increase revenue to Nevada state parks. We estimate the Division did not collect over \$1.2 million in fiscal year 2017 due to visitor noncompliance with required fees. The Division also needs to improve its oversight of fuel card use. The lack of fuel card policies and procedures lead to important administrative controls not occurring, such as accurately tracking fuel card assignments, reconciling mileage with fuel consumption, and monitoring vehicle mileage. Furthermore, the Division can improve its review of concessionaire payments to ensure accuracy in accordance with contract terms.

Key Findings

The Division can improve upon its park fee collection efforts. In fiscal year 2017, the Division collected over \$4.3 million in park user fees. We determined the Division has an opportunity to generate additional revenues by strengthening its processes to improve visitor compliance with required fees. We analyzed park visitation and revenue data to estimate the impact of uncollected fees due to visitor noncompliance. We conservatively estimated 30% of park visitors did not pay the required day-use fees in fiscal year 2017, which amounted to over \$1.2 million in uncollected revenue. (page 6)

The Division's cash collection from self-pay stations leaves the Division vulnerable to theft from employees and volunteers. Management has identified several methods for detecting theft, but not necessarily preventing theft. Although these methods for theft detection are helpful, stronger controls are needed over the collection of park fees. Division policies and procedures lack specific guidance over park fees collected at the self-pay stations. The procedures require a separation of duties when staffing allows, but do not require two employees present when handling cash, nor do the procedures detail the fee collection process for self-pay stations. (page 9)

By offering visitors different methods for paying park fees, the Division could increase fee revenue. Currently, Nevada state parks collect fees using one or more of three payment methods: self-pay cash stations, staffed fee booths, and self-pay electronic fee stations. Installation of an electronic fee station at Sand Harbor State Park contributed to a 70% increase in entrance fee revenues between October 2017 (when station was installed) and February 2018, compared to fee revenues for corresponding months in the prior year. (page 10)

The Division can strengthen its fee enforcement processes to ensure visitors comply with required park fees. With about 30% of visitors not paying required day-use fees, the Division's enforcement efforts could improve when conveying to park visitors fee expectations and the consequences for not paying. (page 13)

Controls over the administration of fuel cards are weak. We determined the Division's administrative controls over fuel cards do not adequately safeguard against misuse. Fuel card documentation was either incomplete or did not exist. Due to the weaknesses noted in the control system and the lack of policies and procedures over fuel cards, the Division cannot accurately account for all fuel cards and has limited assurance that the cards are being appropriately used for park activities. (page 14)

The Division is unable to effectively monitor fuel card use. Reconciling vehicle mileage to fuel card invoices would help identify improper fuel card use. However, vehicle mileage logs are not consistently tracked throughout the state parks. Additionally, fuel cards are assigned to employees instead of vehicles, making an accurate comparison of vehicle mileage to fuel consumption a challenge. (page 16)

The Division can improve its review of concessionaire payments to ensure the accuracy of fees collected. One of the Division's four concessionaires overpaid the Division about \$21,900 between calendar years 2011 and 2017. Although staff indicated payments and supporting documentation are reviewed, no evidence existed documenting this review to identify fee inaccuracies. (page 17)

**State Parks Operating Account
Revenues and Expenditures
Fiscal Year 2017**

Exhibit 2

Revenues	Amount
Beginning Cash	\$ 2,160,946
Appropriations	8,214,832
Park User Fees	4,346,146
Marina Development Gas Taxes	1,094,539
Transfer From Commission on Tourism	509,131
Bond Proceeds	304,988
Interagency Transfers	198,196
Federal Funds	185,296
Miscellaneous Revenues ⁽¹⁾	133,806
Total Revenues	\$17,147,880
Expenditures	
Personnel	\$ 8,830,328
Operating	991,941
Equipment	500,682
Utilities	440,582
Facilities Maintenance	370,218
Miscellaneous Expenses ⁽²⁾	335,672
Interfund Transfers	123,998
Information Services	83,852
State Trails	66,990
Agricultural Lands and Facilities	61,622
Uniforms	44,365
Total Expenditures	\$11,850,250
Difference	5,297,630
Less: Reversion to General Fund	(30,952)
Ending Funds	\$5,266,678

Source: State accounting system.

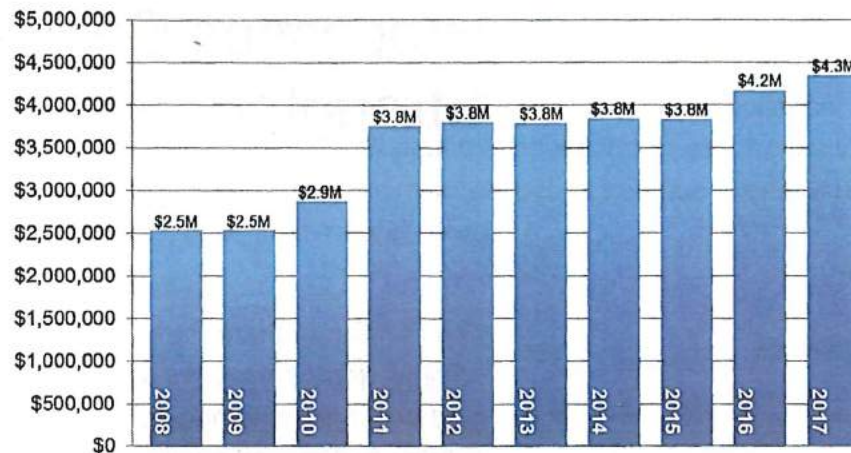
⁽¹⁾ Includes grazing lease fees, reimbursements, prior year refunds, and other miscellaneous revenues.

⁽²⁾ Includes brochures, training, travel, State Department of Conservation and Natural Resources cost allocations, purchasing assessments, statewide cost allocations, and other miscellaneous expenditures.

Exhibit 3 shows the amount of user fees collected over the last 10 fiscal years. Park user fees have increased from \$2.5 million in fiscal year 2008 to \$4.3 million in fiscal year 2017.

Park User Fees Collected Fiscal Years 2008 to 2017

Exhibit 3



Source: State accounting system.

Scope and Objective


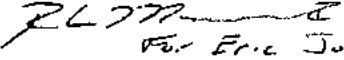
The scope of our audit focused primarily on the Division's fiscal year 2017 activities; although, we also reviewed fee collection processes in fiscal year 2018, and prior years' concession revenue relating to current concession contracts. Our audit objective was to:

- Evaluate the Division's processes relating to the collection of park fees, and the administration of fuel cards and concession contracts.

This audit is part of the ongoing program of the Legislative Auditor as authorized by the Legislative Commission, and was made pursuant to the provisions of NRS 218G.010 to 218G.350. The Legislative Auditor conducts audits as part of the Legislature's oversight responsibility for public programs. The purpose of legislative audits is to improve state government by providing the Legislature, state officials, and Nevada citizens with independent and reliable information about the operations of state agencies, programs, activities, and functions.

Appendix B

Response From the Division of State Parks

<p>BRADLEY CROWELL Director Department of Conservation and Natural Resources ERIC M. JOHNSON Administrator</p>	<p>BRIAN BARDOVAL Governor STATE OF NEVADA</p>	<p>901 S. Stewart Street, Suite 5005 Carson City, NV 89701-5248 Phone: (775) 684-2770 Fax: (775) 684-2777 stpark@parks.nv.gov http://parks.nv.gov</p>
		
<p>DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES DIVISION OF STATE PARKS</p>		
<p>10/1/2018</p>		
<p>Rocky Cooper, CPA, Legislative Auditor Legislative Council Bureau 401 S Carson St Carson City, Nevada 89701</p>		
<p>Dear Mr. Cooper,</p>		
<p>The following is the Corrective Action Plan related to the findings of the Legislative audit report submitted on September 12, 2018 titled Division of State Parks, Response to Audit Recommendations. Per section 1(c) of NRS 218G.230, the corrective action plan is to be submitted to you within 10 days after receipt of the report, October 1, 2018.</p>		
<p>Sincerely,</p>		
<p> For Eric Johnson</p>		
<p>Eric Johnson Administrator</p>		
<p>EJ/ji</p>		
<p>Cc: Bradley Crowell, Director, Department of Conservation and Natural Resources Robert Mergell, Deputy Administrator, Division of State Parks Jen Idema, ASO, Division of State Parks</p>		
<p>1 Page</p>		

Division of State Parks (NDSP) Corrective Action response to Audit Recommendations

- 1. Develop policies and procedures to strengthen controls over the collection of parks fees, including retrieving money from self-pay fee stations and reconciling monies to fee envelopes. Consider requiring two employees be present for collecting and reconciling fees whenever multiple staff are available.**

This recommendation is a requirement currently outlined in the Division Fee Manual. This requirement was not followed at parks with only one full time employee and when seasonal staff are not present. See the response to finding #2 for further plans to resolve the issue.

- 2. Perform a cost-benefit analysis to identify parks where installing an electronic fee station would increase fee compliance.**

Parks intent is to put self-pay machines at all the parks where they will function (remote locations may not have adequate cell or satellite service). This will largely eliminate the need for staff to double count deposits as the fees collected from the self-pay stations will be directly deposited to the state's bank account. The agency is also pursuing an on-line reservation system, which would further reduce the amount of cash collected.

- 3. Revise policies and procedures over park visitor fee compliance to ensure noncompliance fees are consistently administered among all state parks and to encourage park visitors to pay required fees.**

Parks plans to modify the Fee Manual to make it less discretionary in the enforcement of the noncompliance fees. The Emphasis will be that there is only minimal discretion in imposing noncompliance fees when visitors neglect to use the self-pay stations.

- 4. Establish and implement policies and procedures for monitoring fuel use, including documenting acceptable fuel use, tracking vehicle mileage, and reconciling mileage to fuel consumption.**

See response to #5 as it relates to #4 finding. A policy will be developed in the coming months to require the parks and regions to submit monthly reports to the Division office with the mileage of each vehicle. With this, these reports will need to be reviewed and signed off by the park supervisor and/or regional manager. This will then be reconciled to the monthly

fuel invoices and backup documentation. Any discrepancies will be reported to the appropriate supervisor for research and investigation if necessary.

5. Improve fuel monitoring controls by assigning fuel cards to vehicles rather than employees.

Parks has already begun the process of assigning cards to vehicles instead of employees. With this process, all cards will be logged at the Division office for tracking. A policy and procedure will then be established for reconciling mileage to fuel consumption as each fuel bill is paid. Completion of this task is estimated to be done at the end of October.

6. Refund calendar year 2011 to 2015 concessionaire overpayments.

The refunds to the concessionaire were processed on 8/2/18 in the amount of \$3,482.32 and \$4,568.00 on 5/18/18.

7. Enhance concession policies and procedures to include a detailed process for reviewing concession fee revenue, including supervisory review.

The Administrative Services Officer has started reviewing and initialing the fee calculations quarterly. The policy will also be updated to reflect this review requirement.

Division of State Parks' Response to Audit Recommendations

<u>Recommendations</u>	<u>Accepted</u>	<u>Rejected</u>
1. Develop policies and procedures to strengthen controls over the collection of park fees, including retrieving money from self-pay fee stations and reconciling monies to fee envelopes. Consider requiring two employees be present for collecting and reconciling fees whenever multiple staff are available.....	<u>X</u>	<u> </u>
2. Perform a cost-benefit analysis to identify parks where installing an electronic fee station would increase fee compliance.....	<u>X</u>	<u> </u>
3. Revise policies and procedures over park visitor fee compliance to ensure noncompliance fees are consistently administered among all state parks and to encourage park visitors to pay required fees	<u>X</u>	<u> </u>
4. Establish and implement policies and procedures for monitoring fuel use, including documenting acceptable employee fuel use, tracking vehicle mileage, and reconciling mileage to fuel consumption.....	<u>X</u>	<u> </u>
5. Improve fuel monitoring controls by assigning fuel cards to vehicles rather than employees.....	<u>X</u>	<u> </u>
6. Refund calendar year 2011 to 2015 concessionaire overpayments.....	<u>X</u>	<u> </u>
7. Enhance concession policies and procedures to include a detailed process for reviewing concession fee revenue, including supervisory review.....	<u>X</u>	<u> </u>
TOTALS	<u>7</u>	<u> </u>

STEVE SISOLAK
Governor

BRADLEY CROWELL
Director

Department of Conservation and
Natural Resources

ROBERT MERGELL
Administrator

STATE OF NEVADA



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DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES
DIVISION OF STATE PARKS

10/1/20196/14/2019

Rocky Cooper, CPA, Legislative Auditor
Legislative Council Bureau
401 S Carson St
Carson City, Nevada 89701

Dear Mr. Cooper,

The following is the Corrective Action Plan Status Report related to the findings of the Legislative audit report submitted on October 29, 2018 titled Department of Conservation and Natural Resources, Division of State Parks. Pursuant to NRS 218G.250 and 218G.270, the Nevada Division of State Parks must provide the Division of Internal Auditions with a status report on or before June 14, 2019.

Sincerely,

Robert Mergell
Administrator

RM/ji

Cc: Susan Brown, Director, Governor's Finance Office
Bradley Crowell, Director, Department of Conservation and Natural Resources
Jen Idema, Administrative Services Officer, Division of State Parks

Division of State Parks (NDSP) Corrective Action response to Audit Recommendations

- 1. Develop policies and procedures to strengthen controls over the collection of parks fees, including retrieving money from self-pay fee stations and reconciling monies to fee envelopes. Consider requiring two employees be present for collecting and reconciling fees whenever multiple staff are available.**

Currently, Nevada Division of State Parks' (NDSP) Fee Manual does not provide specific guidance to staff when processing deposits. NDSP's Fee Manual will be revised to require that two employees be present for collecting, reconciling and depositing fees, whenever practical.

Corrective Action

NDSP will update the Fee Manual to outline the procedures for operating self-pay stations. Specifically, it will be mandatory that 2 staff collect and verify fees from self-pay stations, whenever practical, and will outline expected frequency of collecting those fees. The process for verifying the funds collected through the self-pay stations will also be more clearly defined. NDSP will complete its revision of the Fee Manual by September 30, 2019. The Fee Manual will also be modified to establish procedures for the self-pay machines and reservation system to ensure these protocols are in place prior to the new systems being implemented. The self-pay machines will only accept credit cards, so the process will only include pulling reports from the system for accounting purposes. In addition, during the 2019 Legislative session, NDSP was approved new full time positions at Wild Horse and Spring Valley, which will minimize the potential of having only one employee available at those parks. At Parks with only one permanent employee, it is impossible to require two employees to collect and reconcile fees. By having at least two permanent employees, the situations in which only one employee is on duty will be minimized.

- 2. Perform a cost-benefit analysis to identify parks where installing an electronic fee station would increase fee compliance.**

NDSP did not conduct a formal cost-benefit analysis, but, as this audit shows, there are multiple benefits recognized when self-pay machines are installed. Self-pay machines provide added customer service by making it more convenient to pay fees in an ever increasing electronic-commerce world, reducing potential for theft, providing 24-hour service 365 days a year, and reducing staff time required to count fees collected by other means. To increase fee collection/compliance, reduce potential for theft, and streamline the fee collection process, NDSP will install self-pay fee machines at all parks where they are expected to function

properly. (Remote locations may not have adequate cell or satellite service.) An added benefit is that self-pay machines will greatly reduce the amount of staff time required to double count deposits, as the fees collected from the self-pay stations will be directly deposited to the State's bank account. NDSP is also pursuing an on-line reservation system, which would further improve fee compliance and reduce the amount of cash on hand, thereby minimizing the opportunity for theft.

Corrective Action

During the 2019 Legislative session, NDSP was approved to purchase 19 self-pay stations in the 20-21 biennial budget. Also included in this request were two tablets that will be connected to the self-pay system and can be used for enforcement of fee collections. NDSP's goal is to put self-pay machines at Cave Lake, Dayton, Fort Churchill, Lahontan, Rye Patch, South Fork, Washoe, Wild Horse, Big Bend, Cathedral Gorge, Echo Canyon, Kershaw-Ryan, Spring Mountain Ranch, Spring Valley, Valley of Fire, Walker River, and Spooner Lake. These self-pay machines will only accept credit cards. NDSP is also pursuing a reservation system that would further improve fee compliance and greatly reduce the amount of cash on hand at the parks. An on-line reservation system will allow park users to pay on-line electronically, thus reducing the amount of cash on hand at the parks. Since the reservation system is open 24-hours a day, this is expected to increase fee compliance, as visitors will be able to pay prior to arriving at the park. Therefore, regardless of whether or not there is an employee at the entrance station when the visitor arrives, the fee has already been collected.

3. Revise policies and procedures over park visitor fee compliance to ensure noncompliance fees are consistently administered among all state parks and to encourage park visitors to pay required fees.

NDSP will modify the Fee Manual to make it less discretionary in the enforcement of the noncompliance fees. The Fee Manual will emphasize that there is only minimal discretion in imposing noncompliance fees when visitors neglect to use the self-pay stations.

Corrective Action

NDSP will revise the Fee Manual by September 30, 2019. In addition, Assembly Bill (AB 58) was passed during the 2019 Legislative. AB 58 gives NDSP law enforcement rangers more authority to enforce regulations within their jurisdiction, including fee enforcement. AB 58 becomes effective on July 1, 2019.

4. Establish and implement policies and procedures for monitoring fuel use, including documenting acceptable fuel use, tracking vehicle mileage, and reconciling mileage to fuel consumption.

NDSP will edit the existing vehicle policy to require individual parks and regions to submit monthly mileage reports for each vehicle. The monthly mileage reports will be reviewed and approved by the park supervisor and/or regional manager, and then reconciled with the monthly fuel invoices and backup documentation. Any discrepancies will be reported to the appropriate supervisor for research and investigation, if necessary.

Corrective Action

A section outlining the new policy on fuel cards will be added to the existing State Vehicles, Equipment and Motor Vehicle Use and Operations Policy (#01-02). This will include reporting by employees of fuel usage and audits to be done by accounting staff and Regional Managers.

5. Improve fuel monitoring controls by assigning fuel cards to vehicles rather than employees.

NDSP has completed the process of assigning cards to vehicles, instead of to employees. A master list of all cards are kept by the Accounting Assistant III at headquarters for tracking. A policy and procedure is in the process of being established for reconciling mileage to fuel consumption as each fuel bill is paid. This task will be completed by the end of October 2019.

Corrective Action

Fuel cards have now been assigned to each NDSP vehicle, instead of to employees. Fuel invoices are now split by region for easier auditing and reconciliation. This will also be included in the policy.

6. Refund calendar year 2011 to 2015 concessionaire overpayments.

The refunds to the concessionaire were processed in the amount of \$3,482.32 on August 2, 2018, and \$4,558.00 on May 18, 2018.

Corrective Action

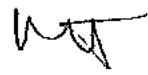
NDSP updated its Policy on March 1, 2019, to include this additional review by the Administrative Services Officer.

7. Enhance concession policies and procedures to include a detailed process for reviewing concession fee revenue, including supervisory review.

The Administrative Services Officer has started reviewing and initialing the fee calculations quarterly. The policy has been updated to reflect this review requirement.

Corrective Action

NDSP Policy on Concessions (#00-3) has been updated to include this additional review by the Administrative Services Officer.



CONTRACT SUMMARY

(This form must accompany all contracts submitted to the Board of Examiners (BOE) for review and approval)

I. DESCRIPTION OF CONTRACT

1. Contract Number: 22641

Agency Name: DCNR - PARKS DIVISION	Legal Entity Name: THE DUBE GROUP, INC. DBA DUBE GROUP ARCHITECTURE
Agency Code: 704	Contractor Name: THE DUBE GROUP, INC. DBA DUBE GROUP ARCHITECTURE
Appropriation Unit: 4604-06	Address: DUBE GROUP ARCHITECTURE
Is budget authority available?: Yes	458 COURT ST
If "No" please explain: Not Applicable	City/State/Zip: RENO, NV 89501-1709
	Contact/Phone: Pete Dube 775/323-1001
	Vendor No.: T81026981
	NV Business ID: NV19991421705

To what State Fiscal Year(s) will the contract be charged? 2020-2022

What is the source of funds that will be used to pay the contractor? Indicate the percentage of each funding source if the contractor will be paid by multiple funding sources.

General Funds	0.00 %	Fees	0.00 %
Federal Funds	0.00 %	Bonds	0.00 %
Highway Funds	0.00 %	X Other funding	100.00 % State Parks Maintenance

2. Contract start date:

a. Effective upon Board of Examiner's approval? No or b. other effective date 12/13/2019

Anticipated BOE meeting date 01/2020

Retroactive? No

If "Yes", please explain

Not Applicable

3. Termination Date: 11/30/2021

Contract term: 1 year and 353 days

4. Type of contract: Contract

Contract description: Project Architecture

5. Purpose of contract:

This is a new contract to provide architecture services for phase 3 of the Red House site complex at Lake Tahoe Nevada State Park.

6. NEW CONTRACT

The maximum amount of the contract for the term of the contract is: \$34,650.00

Other basis for payment: Task 1 \$16,350; task 2 \$3,500 and task 3 \$14,800

II. JUSTIFICATION

7. What conditions require that this work be done?

To complete the next phase of the historic Red House complex.

8. Explain why State employees in your agency or other State agencies are not able to do this work:

State Parks staff does not currently possess the required staff capacity for architecture and construction management of this scale.

9. Were quotes or proposals solicited? No

Was the solicitation (RFP) done by the Purchasing Division? No

a. List the names of vendors that were solicited to submit proposals (include at least three):

Not Applicable

b. Solicitation Waiver: Not Applicable

c. Why was this contractor chosen in preference to other?

Per 333.150 a contract for services of a registered architect does not require bids.

d. Last bid date: Anticipated re-bid date:

10. Does the contract contain any IT components? No

III. OTHER INFORMATION

11. Is there an Indirect Cost Rate or Percentage Paid to the Contractor?

No If "Yes", please provide the Indirect Cost Rate or Percentage Paid to the Contractor

Not Applicable

12. a. Is the contractor a current employee of the State of Nevada or will the contracted services be performed by a current employee of the State of Nevada?

No

b. Was the contractor formerly employed by the State of Nevada within the last 24 months or will the contracted services be performed by someone formerly employed by the State of Nevada within the last 24 months?

No

c. Is the contractor employed by any of Nevada's political subdivisions or by any other government?

No If "Yes", please explain

Not Applicable

13. Has the contractor ever been engaged under contract by any State agency?

Yes If "Yes", specify when and for which agency and indicate if the quality of service provided to the identified agency has been verified as satisfactory:

This vendor has worked with State Parks in the past several years with satisfactory compliance.

14. Is the contractor currently involved in litigation with the State of Nevada?

No If "Yes", please provide details of the litigation and facts supporting approval of the contract:

Not Applicable

15. The contractor is registered with the Nevada Secretary of State's Office as a:
Nevada Corporation

16. a. Is the Contractor Name the same as the legal Entity Name?

Yes

17. a. Does the contractor have a current Nevada State Business License (SBL)?

Yes

18. a. Is the legal entity active and in good standing with the Nevada Secretary of State's Office?

Yes

19. Agency Field Contract Monitor:

Jay Howard, Conservation Staff Specialist Ph: 775-684-2740

20. Contract Status:

Contract Approvals:

Approval Level	User	Signature Date
Budget Account Approval	sdecrona	11/27/2019 12:19:15 PM
Division Approval	sdecrona	11/27/2019 12:19:17 PM
Department Approval	sdecrona	11/27/2019 12:19:19 PM
Contract Manager Approval	sdecrona	11/27/2019 12:19:22 PM
Budget Analyst Approval	mtum1	12/13/2019 11:01:47 AM

STEVE SISOLAK
Governor

901 S. Stewart Street,
Suite 5005
Carson City, NV
89701-5248

STATE OF NEVADA

BRADLEY CROWELL
Director
Department of Conservation and
Natural Resources

ROBERT MERGELL
Administrator



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<http://parks.nv.gov>

DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES
DIVISION OF STATE PARKS

01/21/2020

Bill Watson
Chief Executive and Curator
Thunderbird Lodge Preservation Society
316 California Avenue Suite 36
Reno, Nevada 89509

Dear Mr. Watson,

I write to you today on behalf of Nevada Division of State Parks, and the Red House Historic Site Complex, to request your continued partnership and support of phased restoration project work.

Red House is a historic resource located within the backcountry of Lake Tahoe Nevada State Park, and is a critical part of the National Historic District listed Virginia Gold Hill Water System. The site is also the last remaining example of a flume tenders station for a water system that supplied a critical resource to the Comstock Mining District during its bonanza period of the 1860's and 1870's. Red House was one of six major maintenance stations where a flume tender and his family lived year-round to ensure the constant flow of water in the box flumes, and to implement necessary improvements. The resource includes a bunkhouse structure as well where summer crews lived. Historians agree that the mining district in Virginia City and Gold Hill could not have reached its full potential without a substantial and reliable source of water. What was known at the time as the Hobart Creek Maintenance Station (aka Red House) was originally built in 1887, but had to be rebuilt after a flood destroyed the entire complex in 1911. As the years passed, Red House fell into a serious state of disrepair, and by the 1980's was very close to complete collapse and destruction (in fact, the bunkhouse did collapse). In the 1990's, temporary repairs saved the structure from this fate, but more permanent structural improvements were needed. In 2014, phased projects were planned and those improvements began to happen.

As you know, the Thunderbird Lodge Preservation Society was a partner and financial supporter of the Phase 1 Red House Stabilization Project implemented in 2015. This project resulted in a permanent foundation, and a reconstruction of the porch on the main house. Parks is currently in the process of implementing another project – the 2019 Exterior Restoration Project (phase 2) which will result in structural repairs, a new roof, new exterior plank siding, new period doors and windows, and paint. This project will be completed this year, 2020. Phase 3 is planned as a bunkhouse restoration and interpretive

center. Planning is underway with consultant Pete Dube to implement the same exterior restoration treatment as was done with the main house. In addition though, we envision that this interior space can be renovated into a self-guided interpretive center with panels and large format historic photographs. It will be very important in this instance to thoroughly tell the story of Red House, and convey its importance to the Comstock.

Parks has already funded the planning effort, and I'm now writing a historic preservation grant request to fund a large portion of the construction budget (anticipated to be between \$150,000 and \$200,000). I very much look forward to your continued partnership and would also like to request consideration for any financial support that may be possible on the part of the Thunderbird Lodge Preservation Society. The Society is doing fantastic work preserving the Lake Tahoe basin's important history, and is the perfect partner for Red House activities. Partnership will certainly help with the 'community involvement' portion of the grant application, and a project donation of any size would serve to potentially unlock these other grant funds.

I hope my correspondence today finds you well, and thank you very much for your past support of the Red House Historic Site Complex Restoration Project.

Most Sincerely yours,

Jay

Jay Howard
Planner and Project Manager
Nevada Division of State Parks

Response from Bill Watson, Thunderbird Lodge Preservation Society: 01/22/2020

Thank you Jay. I was hoping we could connect this week with you and Art as you suggested but I guess it won't happen. Unless you wish to do an early 11AM meeting at warehouse follow by Tunnel Creek lunch today Wednesday: I have to be on the road to Reno by 2pm and then to Sacramento and Bay Area tomorrow. I'm in Elko for Cowboy Poetry tomorrow through February 6th.

I will take your Red House letter to the next Board meeting on March 23. I should be able to get you another \$5K as we did before.

I started looking through the material you dropped off. Let's meet up when I return from Cowboy Poetry and before we start scanning.

Talk Soon.
Bill W.



JAY HOWARD



J.HOWARD@PARKS.NV.GOV



775 301-3098

EXPERIENCE

RECREATION PROGRAM SPECIALIST / NDSP

2018 to current
2000 to 2005

Plan and implement the NDSP portion of the Lake Tahoe environmental improvement program (EIP, a federal/state/local/private effort to improve the ecosystem and water clarity of Lake Tahoe). Implement resource and recreational projects to meet EIP goals. Represent NDSP on the Nevada Tahoe Resource Team along with NDF, NDSL, and NDOW. Experience with TRPA permitting and the park planning process.

PARK SUPERVISOR III / NDSP

2005 to 2018

Park and resource management with responsibilities at Lake Tahoe Nevada State Park. Duties involved the supervisory oversight of staff, facilities, fee program, public safety/law enforcement, interpretive program, natural resource management, visitor services, capital improvement projects, and park planning.

PARK RANGER / NDSP

1996 to 2000

Washoe Lake State Park, North Ramp and Little Washoe operations.

1992 to 1996

Lahontan State Recreation Area, Silver Springs operations.

OBJECTIVE

A Program Management Position which allows me to utilize an education in Natural Resources and 26 years of experience in Program and Operational Experience.

SKILLS

- ✓ Professional Writing Skills
- ✓ Depth of Lake Tahoe and Park Experience
- ✓ Understanding of the Planning Process
- ✓ Productive in a Team Leadership Setting
- ✓ Vision and Creativity
- ✓ Goal Oriented

EDUCATION

FORESTRY AND RENEWABLE NATURAL RESOURCES

1990

Bachelor of Science degree
University of Nevada Reno





RELEVANT PROJECT EXPERIENCE

- ✓ Lake Tahoe Nevada State Park Operations Plan – team leader
- ✓ Lake Tahoe Nevada State Park Resource Management Plan – team leader
- ✓ Lake Tahoe Nevada State Park Interpretive Plan – team member, plan revision leader
- ✓ Lake Tahoe Nevada State Park Trails Plan – team leader
- ✓ Lake Tahoe Nevada State Park General Management Plan- team leader, consultant coordination and oversight
- ✓ Sand Harbor Capacity Study – team leader, consultant coordination and oversight
- ✓ Van Sickle Bi-State Park Master Plan – team member, consultant coordination
- ✓ East Shore Corridor Management Plan – team member
- ✓ East Shore Lake Tahoe Multi-Use Path – planning/project development team member
- ✓ Spooner Frontcountry Plan – team member, consultant coordination
- ✓ Sand Harbor Visitor Center and Restaurant Concession Facility – team member
- ✓ Aquatic Invasive Species Boat Inspection Program – team member
- ✓ North Canyon Alternative Trail – planning, design, permitting, implementation
- ✓ Memorial Point Trail – planning, design, permitting, implementation
- ✓ Hidden Beach Restoration – planning, design, permitting, implementation
- ✓ North Canyon Primitive Campground Upgrade – planning, design, implementation
- ✓ Marlette Peak Primitive Campground Upgrade – planning, design, implementation
- ✓ East Slope Fuels Break Plan – planning, design, implementation
- ✓ Sand Harbor Best Management Practices Masterplan – project leader, consultant coordination and oversight
- ✓ Multiple EIP and Park Improvement Projects – P&D coordination, plan review, project management



Peter R. Dubé, AIA, NCARB —Historic Architect
Principal | Dubé Group Architecture

Pete Dubé has practiced architecture in Nevada for over thirty-four years and is an historic architect whose education and skills meet the Secretary of the Interior's Professional Qualifications Standards.

He studied architecture at the University of Arizona with an emphasis on sustainability and preservation under Professor Harris J. Sobin, distinguished scholar considered the father of historic preservation in the American Southwest. As a fifth year student, he worked as an assistant on the nomination of the El Encanto Estates historic neighborhood (added to the National Register in 1988) and upon graduation was awarded the Alpha Rho Chi leadership medal.

Pete established Dubé Group Architecture in 1996. For the past two decades, he has worked for public and non-profit agencies throughout the region with an emphasis on phased projects funded through federal and state grants mostly involving buildings or sites listed (or eligible for listing) on the National Register of Historic Places.

He has a successful track record providing architectural and historic preservation services including planning, design, feasibility studies, historic structure reports, reconnaissance level surveys, existing conditions reports, preservation plans, in addition to preparation of architectural bid documents for preservation, rehabilitation including adaptive reuse, and restoration of historic and non-historic properties.

A brief overview of notable historic projects includes:

- Visitor & Interpretive Centers**
 - **Gardnerville Station**, Douglas County, NV
 - **Walking Box Ranch***, Searchlight, NV
 - **Valley of Fire Visitor Center**, Clark County, NV
 - **Dangberg Home Ranch***, Douglas County, NV
 - **Buckland Station Restoration***, Lyon County, NV
 - **Dayton Depot**, Lyon County, NV
 - **Loneliest Highway Visitors Center**, Lander County
 - **Virginia City Visitor Center**, Storey County, NV
- Cultural & Civic**
 - **George A. Bartlett House***, Nye County, NV
 - **William H. Berg House***, Nye County, NV
 - **Capitol Dome***, Carson City, NV
 - **Governor's Mansion***, Carson City, NV
 - **St. Augustine's Cultural Center***, Lander County, NV
 - **Capitol Fence Historic Structure Report***, Carson City, NV
 - **Douglass House Historic Structure Report***, Churchill County, NV
 - **Red House Preservation Plan***, Lake Tahoe, NV
 - **Stokes Castle***, Lander County, NV
 - **Storey County Courthouse***, Storey County, NV
 - **Foreman-Roberts House***, Carson City, NV
 - **Nevada State Prison***, Carson City, NV
 - **Pipers Opera House***, Storey County, NV
 - **Avansino Ranch Historic Structure Report**, Washoe County, NV
- Commercial**
 - **Minden Flour Mill***, Douglas County, NV
 - **The Reese-Johnson-Virgin "Pink" House***, Douglas County, NV

**Denotes individual listing on NRHP (and / or contributing resource)*

Peter R. Dubé, AIA, NCARB —Historic Architect
Principal | Dubé Group Architecture

Education

- Bachelor of Architecture, University of Arizona, Tucson, 1986

Public Service

- Architect Member, Board of Museums & History, NV Department of Tourism & Cultural Affairs (2008-2018)
- Architect Member, Storey County Building Board of Appeals (2017- present)
- Chairman, City of Reno Historic Resources Commission (2017-2018)

Memberships

- American Institute of Architects
- Association for Preservation Technology
- Society for Commercial Archeology
- Nevada Museums Association

Registrations

- Registered Architect #2443, State of Nevada (also registered in AZ, CA, WA and OR)
- NCARB Certificate #38976

Awards

- 2006 AIA Honor Award, V. James Eardley Student Services Center, Truckee Meadows Community College
- 2013 APA Nevada Outstanding Plan for an Individual Project, Virginia City Streetscape Enhancement Project & Visitors Welcome Center
- 2013 Builders Association of Northern Nevada, Outstanding Public Project, Virginia City Streetscape Enhancement Project & Visitors Welcome Center
- 2015 Builders Association of Northern Nevada, Outstanding Public Project, Loneliest Highway Visitor Center (*Austin, NV*)

Publications & Lectures

- *Rural Restoration – Cultural / Heritage Tourism*, Reese River Reveille, Summer Issue, 2010
- *Dangberg Home Ranch – An Architect’s Preservation Perspective*, Nevada Architectural History Alliance Quarterly Meeting Presentation, September 2014
- Foreword to *Lake Tahoe’s Rustic Architecture*, Dr. Peter Mires, Arcadia, 2016

Continuing Education & Training

- APT Masonry Cleaning Workshop, Portland, OR, May 3, 2019

Alex Malm, AIA Associate
Senior Designer | Dubé Group Architecture

Alex Malm is a senior designer with over seventeen years of experience in architecture and construction.

Alex started working in the construction industry while attending high school, working as a draftsman after school and on weekends for a local developer. After graduating from Douglas High School in Minden, NV, he went into the United States Marines as a combat engineer for six years and was deployed to Iraq as member of a Quick Reaction Force (QRF). During his transition into civilian life Alex started working for Dubé Group Architecture as an intern in 2011 and has been there ever since. He has a successful track record providing architectural services including drafting, design, and project management.

A brief overview of projects includes:

- Visitor & Interpretive Centers**
 - **Gardnerville Station**, Douglas County, NV
 - **Walking Box Ranch***, Searchlight, NV
 - **Dayton Depot**, Lyon County, NV
 - **Virginia City Visitor Center**, Storey County, NV

- Cultural & Civic**
 - **Capitol Dome***, Carson City, NV
 - **Governor's Mansion***, Carson City, NV
 - **St. Augustine's Cultural Center***, Lander County, NV
 - **Red House Preservation Plan***, Lake Tahoe, NV
 - **Foreman-Roberts House***, Carson City, NV
 - **Nevada State Prison***, Carson City, NV
 - **NDOT Tonopah Open Stall Enclosure**, Tonopah NV
 - **Bob Boldrick Theater Improvements**, Carson City, NV

- Commercial**
 - **Urban Air Adventure Park**, Reno, NV
 - **The Reese-Johnson-Virgin "Pink" House***, Douglas County, NV
 - **Mr. Bubbles Touchless Carwash**, Fernley, NV

**Denotes individual listing on NRHP (and / or contributing resource)*

Education

- Bachelor of Architecture, San Francisco Institute of Architecture 2016

Public Service

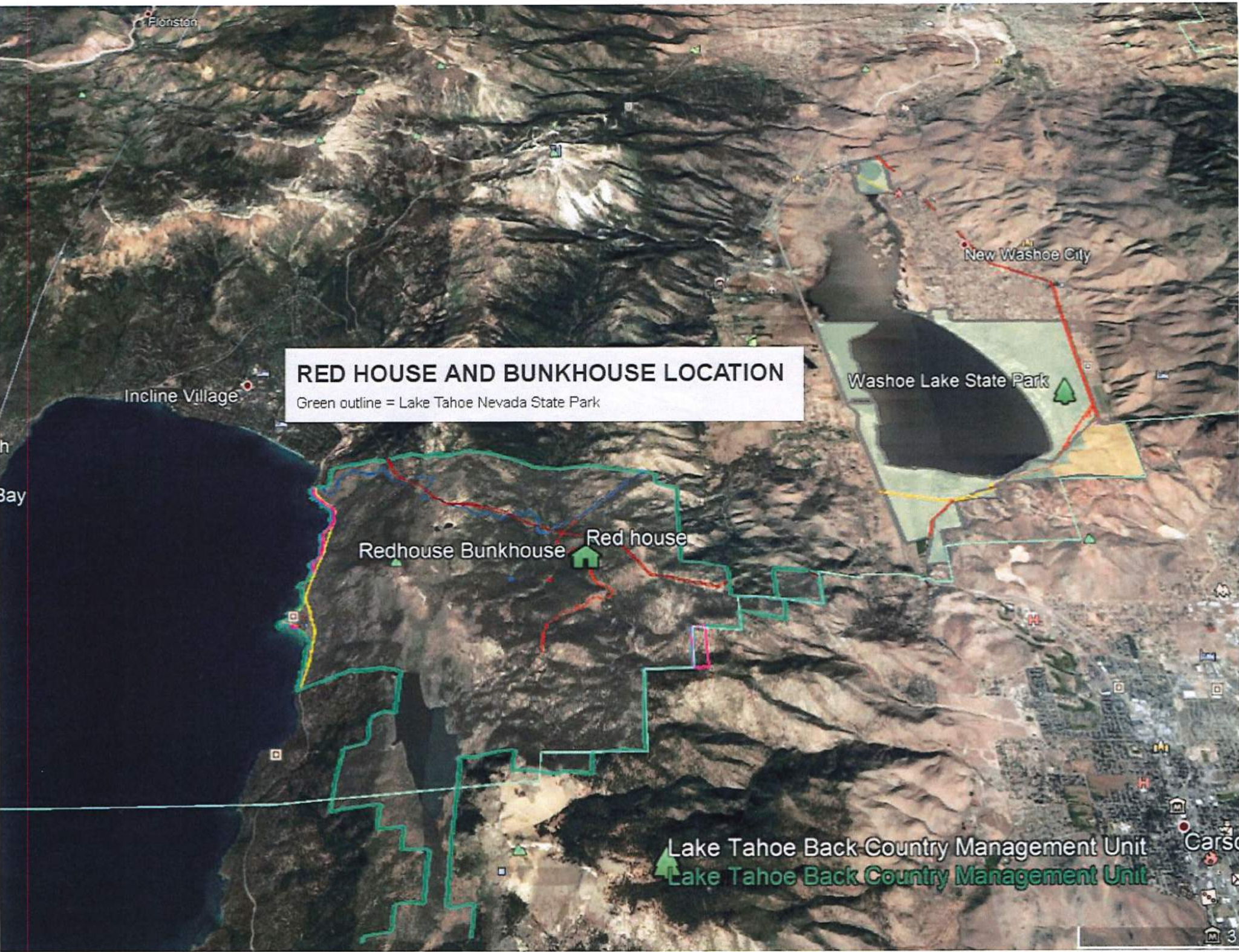
- Lacrosse Coach, High Sierra Lacrosse League 2016-2018

Memberships

- American Institute of Architects Associate

Continuing Education & Training

- Building Information Modeling Intermediate, TMCC
- Building Information Modeling, Advanced, TMCC



RED HOUSE AND BUNKHOUSE LOCATION

Green outline = Lake Tahoe Nevada State Park

Incline Village

New Washoe City

Washoe Lake State Park

Redhouse Bunkhouse

Red house

Lake Tahoe Back Country Management Unit
Lake Tahoe Back Country Management Unit

Carson City

RED HOUSE HISTORIC SITE COMPLEX



Historic Site Complex Pictures, Bunkhouse to the right – Circa 1915

BUNKHOUSE SITE PICTURES

Red House Historic Site Complex



Site Picture with Bunkhouse in the Foreground – early 1980's before collapse



Site Picture with Bunkhouse in Foreground – early 1990's after collapse

BUNKHOUSE SITE PICTURES

Red House Historic Site Complex



Site Picture with Bunkhouse in the Foreground (early 2000's looking northeast)



Example of rehabilitation treatment (2019 Phase 2 on Main House, without battens and plank skirting installed)

BUNKHOUSE SITE PICTURES

Red House Historic Site Complex



East Gable End of Building (looking southwest)



West Gable End of Building (looking northeast)

BUNKHOUSE SITE PICTURES

Red House Historic Site Complex



South Side of Structure (looking northeast)



North Side of Structure (looking southwest)

BUNKHOUSE SITE PICTURES

Red House Historic Site Complex



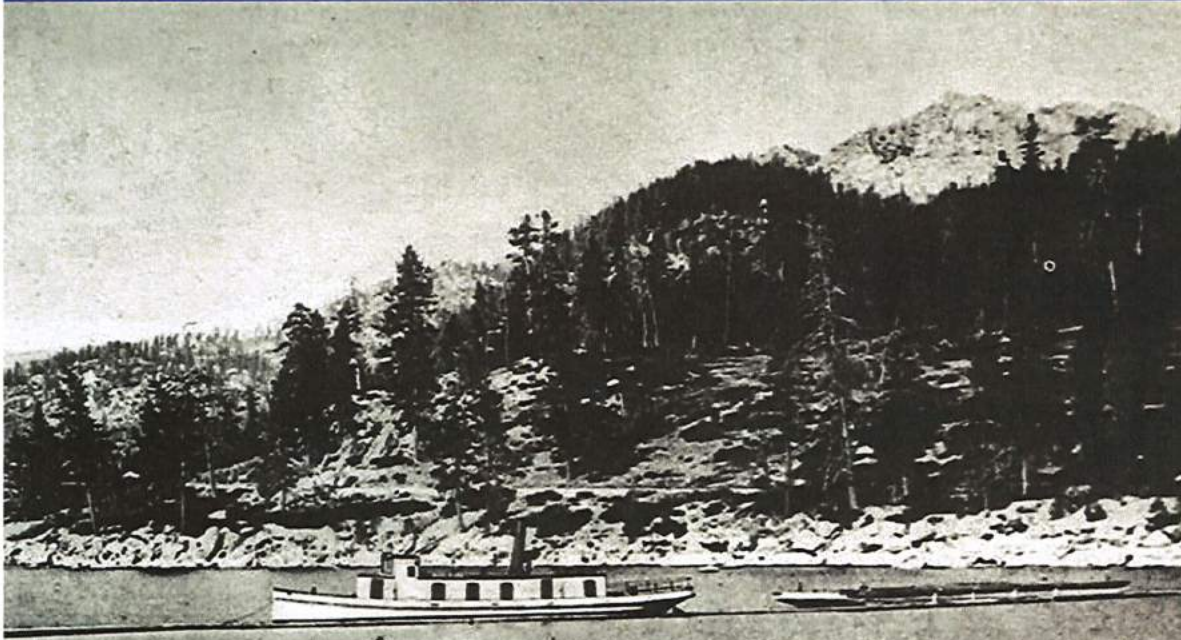
Interior of Structure (looking southwest)



Interior of Structure, storage during Phase 2 on Main House (looking west)



Steamships of Lake Tahoe



S.S. Niagara towing logs, 1870s—Historic Photo



Governor Stanford sidewheeler—Historic Photo



S.S. Meteor (later) at Sand Harbor, Glenbrook—Historic Photo



S.S. Nevada (previously Tallac)—Historic Photo

The Need for Power

When silver put Virginia City on the map in 1859, Lake Tahoe's booming lumber business began shortly after. A massive amount of timber was needed to build the mines. Powerful steam engine driven ships were used to tow logs to lumber mills on Tahoe's shores. Steamships also carried mail, and hosted fishing excursions, sightseers and travelers.

Commercial Steamers Prior to the 1900s

In 1864, the *Governor Blaisel* was the first steamer to grace the Lake. From 1869–1872, ships including the *Emerald*, *Truckee*, and *Governor Stanford*, set afloat. By 1875–1876, both the slowest and fastest ships arrived—the *Niagara*, with its underpowered engine, and the fastest inland steamship of its time, the *Meteor*. From 1883–1890, steamers *Tod Goodwin*, *Emerald II*, *Mamie*, and *Hattie Belle* launched. Between 1890–1896, as mining slowed, steamships were built to suit the rich. Lavishly decorated ships, such as the *Tallac* (later *Nevada*), and the *Tahoe*, offered luxury Lake cruises.

From Firewood to Watery Graves

Many steamships of Lake Tahoe served their time and ended up as firewood, scrapped or scuttled. Some lie in unknown depths including the *Meteor*, sunk between Tahoe City and Glenbrook in 1939, and the *Nevada*, which was torched and scuttled in the middle of the Lake in 1940. Also in 1940, the *Tahoe* was scuttled off Glenbrook, Nevada, and lies about 400 feet below. The *Tahoe* was visited by divers in 2002, and became the first maritime site in Nevada listed on the *National Register of Historic Places*.

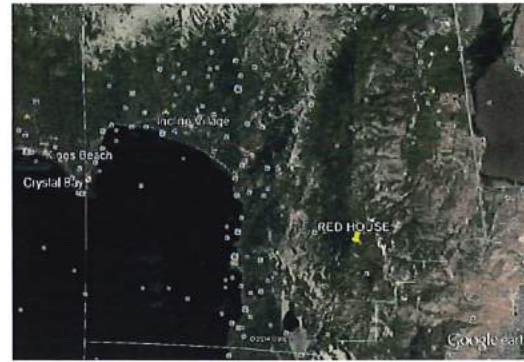
Sand Harbor—Lake Tahoe Nevada State Park

Did you know? The S.S. Niagara towed logs to Sand Harbor. The trees were placed on a train, taken to a sawmill in present day Incline Village, then used to build mines in and around Virginia City.



standard abbreviations

A.C.	Asphalt Concrete	INT.	Interior
ACOUS.	Acoustic(al)	INV.	Invert
ADDTN	Addition	JT.	Joint
ADJ.	Adjustable or Adjacent	JTS.	Joints
A.F.F.	Above Finish Floor	LAM.	Laminated
AGGR.	Aggregate	LAV.	Lavatory
ALT.	Alternate	LB.	Pound
ALUM.	Aluminum	LBL.	Label
ASB.	Asbestos	LTG.	Lighting
AUTO.	Automatic		
@	At	MATL.	Material
		MAX.	Maximum
BD.	Board	MECH.	Mechanical
BLDG.	Building	MET.	Metal
BLKG.	Blocking	MFR.	Manufacture(r)
BM.	Beam	MH.	Manhole
BOT.	Bottom	MIN.	Minimum
BR.	Bronze	MISC.	Miscellaneous
BRG.	Bearing	M.P.H.	Miles Per Hour
BTWN.	Between	MTD.	Mounted
		N	North
CAB.	Cabinet	(N)	New
C.B.	Concrete Block	N.I.C.	Not in Contract
CEM.	Cement	NO.	Number
CER.	Ceramic	NOM.	Nominal
C.F.M.	Cubic Feet per Minute	NT	Net
C.I.	Cast Iron	N.T.S.	Not to Scale
C.J.	Control Joint	N.F.V.A	Net Free Ventilated Area
CLG.	Ceiling		
CLR.	Clear	o/	Over
CMU	Concrete Masonry Unit	O.C.	On Center
COL.	Column	O.D.	Outside Diameter
COMP.	Composition	O.H.	Opposite Hand
CONC.	Concrete	O.L.	Occupant Load
CONN.	Connection	OPNG.	Opening
CONST.	Construction	O.S.B.	Oriented Strand Board
CONT.	Continuous	OVHNG.	Overhang
COOLING.	Cooling		
C.T.	Ceramic Tile	PL	Plate or Property Line
CTR.	Counter	PART.	Partition or Partial
CTSK.	Countersink	PL	Plan
C.W.	Cold Water	PLAS.	Plaster
Ⓢ	Centerline	P.LAM.	Plastic Laminate
		PLMG.	Plumbing
D	Depth	PLYWD.	Plywood
DBL.	Double	P.O.C.	Point of Connection
DET.	Detail	PROP.	Property
DESC.	Description	P.S.F.	Pounds Per Square Foot
D.F.	Douglas Fir	PT.	Point
D.F.	Drinking fountain	PWR.	Power
DIM.	Dimension		
DISP.	Disposal	R	Riser
DN.	Down	RAD.	Radius
DR.	Door	RD.	Roof Drain
DRWG.	Drawing	R.C.P.	Reflected Ceiling Plan
DS.	Down spout	REC.	Recessed
	Diameter	RDWD.	Redwood
		REF.	Reference
E	East	REFL.	Reflected
(E)	Existing	REINF.	Reinforcing
EA.	Each	REQD.	Required
ELEC.	Electric(al)	RM.	Room
ELEV.	Elevation	R.O.	Rough Opening
EQ	Equipment	R.S.	Rough Sawn or Resawn
EQPT.	Equipment		
E.W.	Each Way	S	South
EW	Electric Water Cooler	S.A.R.	Supply Air Register
EW	Electric Water Heater	SCHED.	Schedule
EXH.	Exhaust	SEP.	Separation
EXP.	Exposed	SERV.	Service
EXP. JT.	Expansion Joint	SF	Square Feet
EXT.	Exterior	SHT.	Sheet
		S.G.	Safety Glass
FD.	Floor Drain	SIM.	Similar
FEC.	Fire Extinguisher Cabinet	SL	Slope
F.F.	Finished Floor	SPEC.	Specification(s)
F.F.E.	Finish Floor Elevation	SPL.	Splash
FFHB	Frost Free Hose Bibb	S.S.	Sanitary Sewer
FG.	Finish Grade	STL.	Steel
FIN.	Finish	STOR.	Storage
FLR.	Floor	STR.	Stair
F.O.	Floor Opening	STRUCT.	Structural
F.O.S.	Face of Studs	SURF.	Surface
FTG.	Footing	SYM.	Symbol
		T	Tread
GA.	Gage/Gauge	T.(.)	Top of (item)
GAL.	Gallon	TEL.	Telephone
GALV.	Galvanized	THK.	Thick
G.I.	Galvanized Iron	TPO.	Thermoplastic Polyolefin
GL.	Glass	T.S.	Tube Section
GLB.	Glu-Lam Beam	T.W.	Top of Wall
GR.	Gross	TYP.	Typical
GSF	Gross Square Foot		
GYP. BD.	Gypsum Board	U.N.O.	Unless Noted Otherwise
		VAC.	Vacuum
H	High	VAR.	Varies
HARD BD.	Hardboard	VCT.	Vinyl Composition Tile
H.B.	Hose Bibb	V.B.	Vinyl Base
H.C.	Handicap	VER.	Verify
HDW.	Hardware	VERT.	Vertical
H.M.	Hollow Metal	VTR.	Vent Thru Roof
HORIZ.	Horizontal		
HR	Hour	W	Width or West
HT.	Height	w/	With
HTR	Heater	w/o	Without
HVAC	Heating, Ventilating & Air Conditioning	WD.	Wood
		W.H.	Water Heater
I.B.C.	International Building Code	WIND.	Window
I.D.	Inside Diameter		
I.E.	Invert Elevation	XFM	Transform
INVERT	Invert		



VICINITY MAP

APPLICABLE CODES

COMPLIANCE REQUIRED WITH STATE OF NEVADA PUBLIC WORKS DIVISION'S ADOPTED CODES AND REGULATIONS INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- 2010 STANDARDS FOR ACCESSIBLE DESIGN
- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2018 INTERNATIONAL EXISTING BUILDING CODE
- 2018 UNIFORM PLUMBING CODE
- 2012 UNIFORM MECHANICAL CODE
- 2017 NATIONAL ELECTRICAL CODE
- 2012 INTERNATIONAL ENERGY CONSERVATION CODE
- 2012 INTERNATIONAL FIRE CODE
- NFPA STANDARDS
- APPLICABLE PROVISIONS OF THE NEVADA REVISED STATUTES
- APPLICABLE PROVISIONS OF THE NEVADA ADMINISTRATIVE CODE
- OCCUPANCY TYPE: U
- TYPE OF CONSTRUCTION: V-B
- STORAGE BUILDING: 320 SQ.FT.



Red House Phase 3 Bunkhouse Spooner Backcountry, Washoe County, Nevada

PROJECT DIRECTORY

owner: Nevada Division of State Parks
901 South Stewart Street, Suite 5005
Carson City, Nevada 89701
p | 775.684.2740

architect: Dubé Group Architecture
458 Court Street
Reno, Nevada 89501
p | 775.323.1001

structural: Structural System Solutions
410 Mill Street
Reno, Nevada 89502
p | 775.232.4664

INDEX TO DRAWINGS

- GENERAL SHEETS
 - G1.0- COVER SHEET
 - G2.0- GENERAL NOTES
- STRUCTURAL SHEETS
 - S1.0- STRUCTURAL NOTES / STANDARD DETAILS
 - S1.1- FOUNDATION PLAN DETAILS
 - S4.0- ROOF FRAMING PLAN DETAILS
- ARCHITECTURAL SHEETS
 - A1.0- SITE PLAN
 - A1.1- FLOOR PLAN, SCHEDULES
 - A1.2- INTERIOR ELEVATIONS
 - A1.3- SECTIONS
 - A4.0- ROOF PLAN
 - A5.0- NORTH ELEVATION / EAST ELEVATION
 - A5.1- SOUTH ELEVATION / WEST ELEVATION
 - A6.0- DETAILS

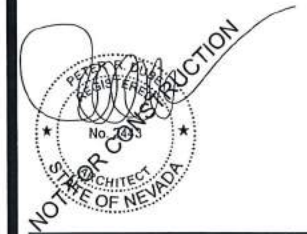
SCOPE OF WORK

- FOUNDATION
 1. INSTALL NEW CONCRETE FOUNDATION.
 2. RE-GRADE EARTH AROUND STRUCTURE TO PROVIDE 6" CLEAR FROM GRADE TO NEW SIDING TYP.
- FINISHES
 1. INSTALL NEW WOOD PLANKING ON EXISTING WOOD WALL STUDS. INSTALL NEW WOOD PLANKING ON EXISTING SHEATHING. INSTALL NEW INTERPRETIVE PANEL BACKING.
- ROOFING
 1. REMOVE EXISTING ROOFING AND RAFTERS. INSTALL NEW ROOF FRAMING, WOOD PLANKING, SHEATHING, AND CEDAR SHINGLE ROOFING.
- SIDING
 1. REMOVE EXISTING SIDING ON WALLS TO EXPOSED STUDS. INSTALL NEW SIDING, SHEATHING, AND TRIM.
- OPENINGS
 1. REMOVE EXISTING WINDOWS AND DOORS. INSTALL NEW WOOD WINDOWS AND DOOR.
- EXTERIOR FINISH
 1. 3-COAT HIGH PERFORMANCE EXTERIOR PAINT SYSTEM CONSISTING OF PRIME COAT (BACK-PRIMED), INTERMEDIATE COAT, AND TOP COAT



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project title:
Nevada Division of State Parks

Red House Phase 3 Bunkhouse

Spooner Backcountry, Washoe County, Nevada

job number: 19-1300
date: February 21, 2020
drawn by: amm
checked by: prd
revisions:

sheet description:
COVER SHEET

sheet number:

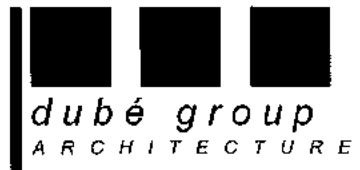
G1.0

GENERAL NOTES

- A. THE DRAWINGS INDICATE NEW WORK TO BE PERFORMED AND DO NOT PURPORT TO SHOW ALL EXISTING CONDITIONS. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO THE BID AND FAMILIARIZE HIMSELF /HERSELF WITH ALL EXISTING AND PROPOSED CONDITIONS WHICH MAY AFFECT THE COURSE OF THE WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES AND UNACCEPTABLE CONDITIONS TO THE OWNER PRIOR TO THE BID. NO CHANGE ORDERS SHALL BE ALLOWED FOR FAILURE TO COMPLY WITH THIS REQUIREMENT.
- B. CONTRACTOR SHALL VERIFY THAT (E) CONDITIONS ARE AS INDICATED ON THE DRAWINGS. NOTIFY THE ARCHITECT IMMEDIATELY OF VARIATIONS OR DISCREPANCIES. DO NOT PROCEED WITH AFFECTED WORK UNTIL THE VARIATIONS OR DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- C. ALL CONSTRUCTION AND INSTALLATION WORK SHOWN ON DRAWINGS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES. USE METHODS AS REQUIRED TO COMPLETE WORK WITHIN LIMITATIONS OF ALL LAWS AND CODES.
- D. DO NOT SCALE DRAWINGS: USE DIMENSIONS SHOWN. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION AND RECHECKED AS WORK PROGRESSES. DIMENSIONS SHOWN AT (E) CONDITIONS ARE TO FACE OF (E) FINISH. U.N.O. DIMENSIONS AT NEW WORK ARE TO FACE OF FRAMING, U.N.O. DIMENSIONS OF (E) CONDITIONS ARE FOR REFERENCE ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. WHERE NO DIMENSION IS PROVIDED CONSULT WITH THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH AFFECTED WORK.
- E. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE LOCATIONS WITH A LICENSED AND APPROVED SURVEYOR.
- F. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, ACCESSORIES, ETC., REQUIRED FOR A COMPLETE USABLE PROJECT IN ACCORDANCE WITH THE COMBINATION OF THE DRAWINGS AND SPECIFICATIONS.
- G. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS
- H. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF SUB-CONTRACTOR(S), MATERIALS, AND INSTALLATION FOR THIS PROJECT (U.N.O.). CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK OF ALL THE TRADES WITH THE APPROVAL OF THE OWNER.
- I. THE CONTRACTOR SHALL ENSURE THAT ALL WORK AREAS ARE EFFECTIVELY BLOCKED AND BARRICADED TO PROVIDE COMPLETE PROTECTION TO BUILDING OCCUPANTS OR OTHERS USING ADJACENT AREAS. THE OWNER SHALL BE CONSULTED BEFORE ANY BUILDING UTILITIES ARE TEMPORARILY DISRUPTED.
- J. SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONDITIONS AT THE JOB SITE, INCLUDING SAFETY OF PEOPLE AND PROPERTY. ARCHITECT SITE VISITS ARE NOT INTENDED TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- K. CONTRACTOR SHALL PROVIDE FOR FIRE SAFETY AT ALL TIMES DURING CONSTRUCTION. ANY OPERATION UTILIZING TORCHES OR OPEN HEAT SOURCES OR OTHER HEAT PRODUCING EQUIPMENT SHALL HAVE FIRE EXTINGUISHER PRESENT AT ALL TIMES.
- L. ALL WASTE AND REFUSE CAUSED IN CONNECTION WITH THE WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF BY THE CONTRACTOR. THE PREMISES SHALL BE LEFT CLEAR AND CLEAN TO THE SATISFACTION OF THE ARCHITECT. REMOVE DEBRIS, RUBBISH AND WASTE MATERIAL FROM OWNER'S PROPERTY TO A LAWFUL DISPOSAL AREA AND PAY HAULING, PERMIT AND DUMPING COSTS. CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL LAWS, REGULATIONS AND ORDERS.
- M. INSTALL MANUFACTURED MATERIALS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, U.N.O.
- N. WHERE PRE-MANUFACTURED OR FABRICATED ITEMS AND/OR MATERIALS ARE TO BE INSTALLED - VERIFY ROUGH OR FINISHED DIMENSIONS IN THE FIELD PRIOR TO PURCHASE OR FABRICATION.
- O. APPLICATION OF FINISH: SURFACES PREVIOUSLY PREPARED OR INSTALLED BY ANOTHER TRADE SHALL BE INSPECTED CAREFULLY BY THE CONTRACTOR BEFORE APPLYING SUBSEQUENT MATERIALS OR FINISHES. IF SURFACES ARE NOT ACCEPTABLE, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN ORDER THAT CORRECTIONS MAY BE MADE. APPLICATIONS OF FINISHES WILL BE CONSTRUED AS ACCEPTANCE OF RESPONSIBILITY BY THE SUBCONTRACTOR FOR THE BASE UPON WHICH IT IS APPLIED.
- P. INSTALL ALL WORK PLUMB, LEVEL AND STRAIGHT, OR AS REQUIRED TO ALIGN WITH (E) ADJACENT SURFACES.
- Q. CONTRACTOR SHALL DESIGN AND INSTALL SHORING AS REQUIRED TO PREFORM WORK. RESPONSIBILITY FOR ENGINEERING, CONSTRUCTING, AND SAFETY OF THE SHORING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- R. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLIMENTARY. CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, SPECIFICATIONS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH WORK.
- S. DETAILS SHOWN SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS WHETHER SPECIFICALLY CALLED OUT OR NOT.
- T. DETAILS ARE INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS OR CONDITIONS AND SHALL BE INCLUDED AS PART OF THE WORK.
- U. WHERE ANY ITEM AND/OR MATERIAL IS INDICATED ON THE DRAWINGS AND NOT NECESSARILY DETAILED IN EACH SPECIFIC CASE BUT IS REQUIRED FOR A COMPLETE AND PROFESSIONAL INSTALLATION - SUCH ITEMS AND/OR MATERIALS SHALL BE PROVIDED AS IF SHOWN AND DETAILED IN FULL. PROVIDE THE MEANS TO FURNISH AND INSTALL SAME.
- V. THROUGHOUT THE CONSTRUCTION DOCUMENTS, ITEMS THAT ARE EXISTING ARE INDICATED AS "EXISTING" OR "(E)", ITEMS WITHOUT THIS DESIGNATION ARE NEW CONSTRUCTION. WHERE REQUIRED FOR PURPOSES OF CLARITY, SOME ITEMS MAY BE INDICATED AS "NEW" OR "(N)".
- W. ANY EXISTING EQUIPMENT AND ANCILLARY MATERIALS REMOVED DURING THE COURSE OF THIS PROJECT SHALL BE OFFERED TO THE OWNER FOR SALVAGE. ANY EQUIPMENT SELECTED BY THE OWNER SHALL BE DELIVERED TO THE OWNER ON SITE. ALL REMAINING EQUIPMENT AND MATERIALS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IN A TIMELY MANNER.
- X. THE CONTRACTOR MUST SUBMIT IN WRITING ANY REQUESTS FOR MODIFICATIONS TO THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SUBMITTED TO THE ARCHITECT FOR REVIEW DO NOT CONSTITUTE "IN WRITING" UNLESS IT IS CLEARLY NOTED ON THE SUBMITTAL THAT SPECIFIC CHANGES ARE BEING REQUESTED WITH THE PHRASE "REQUESTED CHANGE".
- Y. LEAVE ALL SURFACES IN VACUUM CLEAN CONDITION WITH ALL DUST, DIRT, STAINS, HAND MARKS, PAINT SPOTS, DROPPINGS, AND OTHER BLEMISHES AND DEFECTS COMPLETELY REMOVED.
- Z. FINAL AS-BUILT RECORD DOCUMENTS SHOWING ALL REVISIONS INCORPORATED DURING CONSTRUCTION SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO PROJECT CLOSE-OUT.

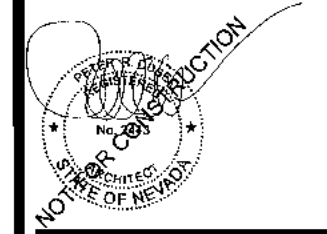
HAZARDOUS MATERIALS

1. DUBÉ GROUP ARCHITECTURE ASSUMES NO RESPONSIBILITY FOR THE MANAGEMENT OF HAZARDOUS MATERIALS THAT MAY BE ON THIS SITE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT PERSONNEL WITHIN THE WORK AREA ARE PROTECTED FROM EXPOSURE TO ANY HAZARDOUS MATERIALS ENCOUNTERED. IF MATERIALS ARE DISCOVERED THAT MAY BE HAZARDOUS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND CEASE WORK UNTIL CONDITIONS CAN BE MAINTAINED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.



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 F | 775.323.2220



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project title:
Nevada Division of State Parks
Red House Phase 3 Bunkhouse
 Spooner Backcountry,
 Washoe County, Nevada

job number: 19-1300
 date: February 21, 2020
 drawn by: amm
 checked by: prd
 revisions:

sheet description:
GENERAL NOTES

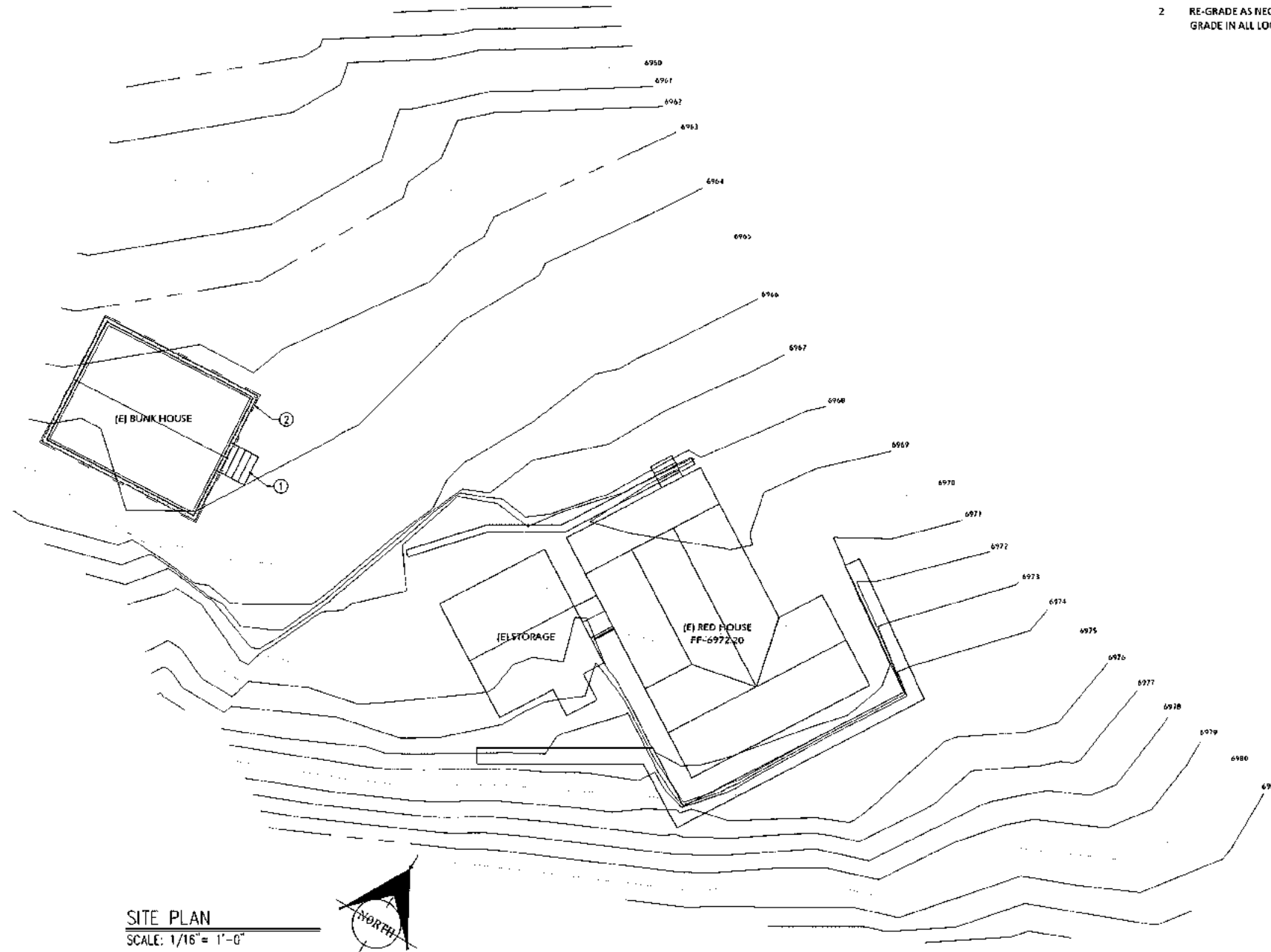
sheet number:
G2.0

GENERAL NOTES

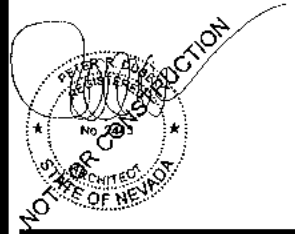
- A. REFER TO SHEET G2.0 GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
- B. PROVIDE EROSION CONTROL AS REQUIRED
- C. PROTECT EXISTING SITE IMPROVEMENTS. REPAIR DAMAGE TO LIKE-NEW CONDITION

(H) SHEET NOTES

- 1. CONSTRUCT (N) WOODEN STEPS TO OPENING, SEE DETAIL
- 2. RE-GRADE AS NECESSARY TO PROVIDE SIDING 6" CLEAR FROM GRADE IN ALL LOCATIONS



SITE PLAN
SCALE: 1/16" = 1'-0"



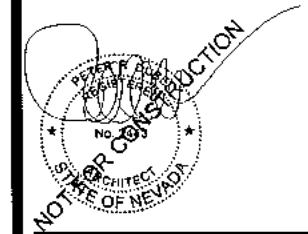
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project title:
Nevada Division of State Parks
Red House Phase 3 Bunkhouse
Spooner Backcountry,
Washoe County, Nevada

job number: 19-1300
date: February 21, 2020
drawn by: amm
checked by: pd
revisions:

sheet description:
SITE PLAN

sheet number:
A1.0



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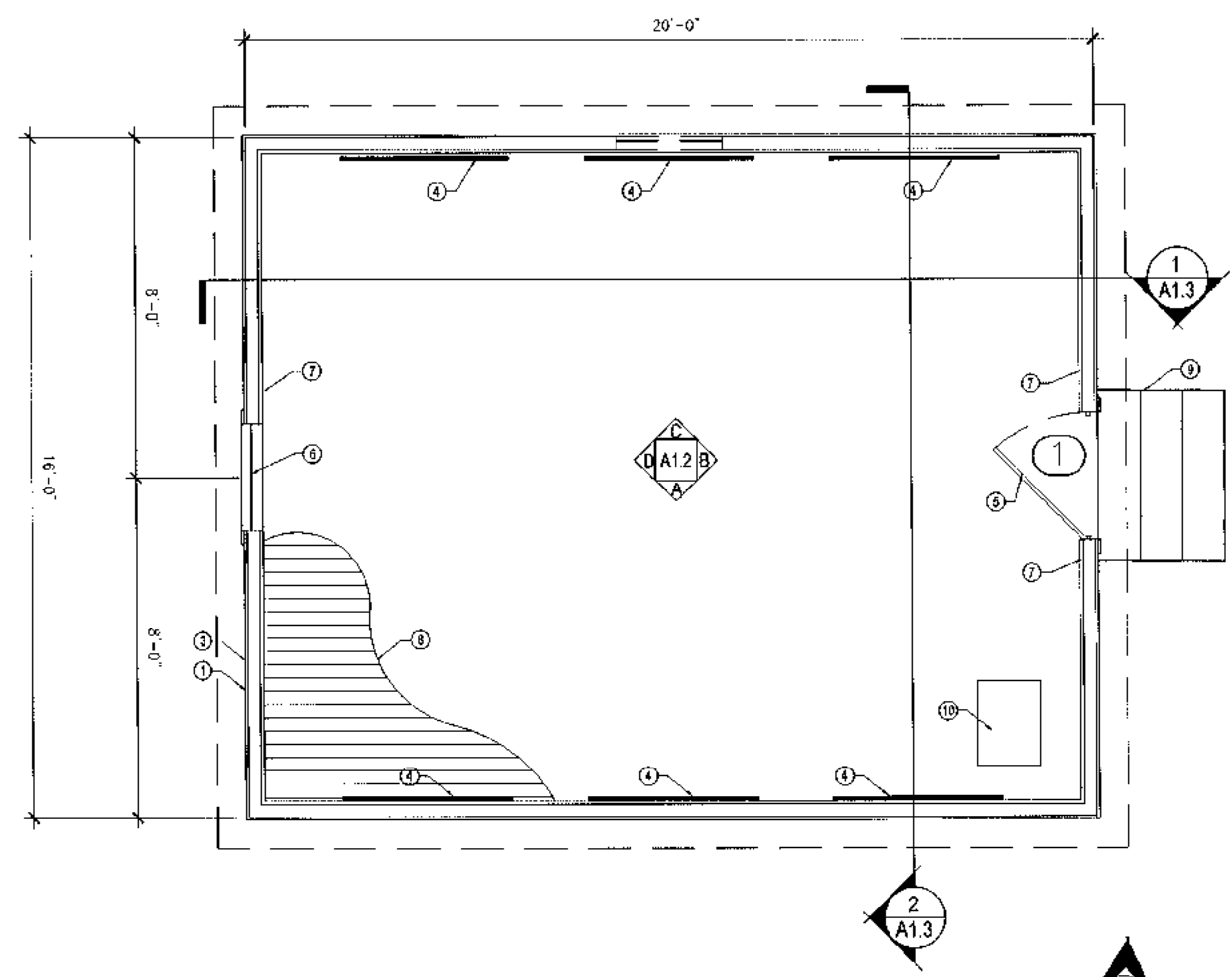
project title:
Nevada Division of State Parks
Red House Phase 3 Bunkhouse
Spooner Backcountry,
Washoe County, Nevada

job number: 19-1300
date: February 21, 2020
drawn by: amm
checked by: pd
revisions:

sheet description:
FLOOR PLAN
SCHEDULES

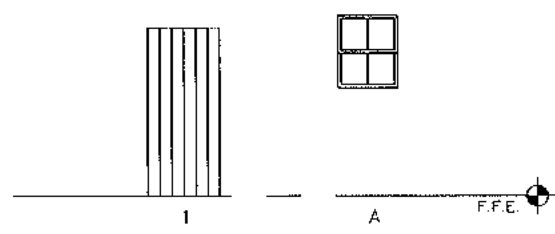
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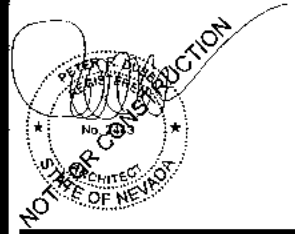
- GENERAL NOTES**
- A. REFER TO SHEET G2.0 GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
- SHEET NOTES**
- REMOVE (E) BOARD & BATTON SIDING & TRIM INCLUDING VAPOR BARRIER. INFILL (E) OPENINGS AND PROVIDE (N) OPENINGS AS INDICATED. INSTALL (N) BACK PRIMED EXTERIOR BOARD & BATTON SIDING & TRIM, INCLUDING (N) VAPOR BARRIER
 - REMOVE (E) ROOFING, INCLUDING SHEATHING AND FRAMING. SEE STRUCTURAL DRAWINGS FOR (N) FRAMING & SHEATHING. PROVIDE (N) ROOF SYSTEM CONSISTING OF SNOW/ICE SHEILD, FIRE RESISTANT BREATHER UNDERLAYMENT, CEDAR SHINGLES, & METAL EDGE TRIM
 - CONTRACTOR TO PAINT ALL (N) SIDING, TRIM, AND FASCIA TYP.
 - INTERPRETIVE PANEL LOCATION, PROVIDED BY OTHERS. PROVIDE BACKING - SEE DETAIL 1
A6.0
 - REMOVE (E) PLYWOOD DOOR. INSTALL (N) DOOR, SEE DETAIL 7
A6.0
 - (N) WOOD WINDOW, TYP. OF (2)
 - INSTALL (N) WOOD INTERIOR PLANKING TYP. ALL INTERIOR WALLS SEE DETAIL 1
A6.0 FOR INSTALLATION METHOD
 - INSTALL (N) WOOD FLOORING OVER (E) SHEATHING SEE DETAIL 1
A6.0 PROVIDE KRAFT PAPER UNDERLAYMENT, TYP.
 - INSTALL (N) P.T. WOOD STAIR CASE SEE DETAIL 5
A6.0
 - INSTALL (N) 18" X 24" ACCESS CRAWL ACCESS, COORDINATE LOCATION WITH EXISTING STRUCTURAL FLOOR MEMBERS. PROVIDE LOCKABLE LATCH



FLOOR PLAN
SCALE: 1/2" = 1'-0"

DOOR AND WINDOW TYPES		DOOR SCHEDULE															
DOOR NUMBER	LABEL	FRAME				DOOR				REMARKS							
		MAT'L	ELEV.	DEPTH	DETAILS				MAT'L					ELEV.	GLAZING	SIZE	
					HEAD	JAMB	JAMB	SILL									PR.
1	N/A	WD	1							W	A		3'-0"	7'-0"	1. FIELD VERIFY DIMENSIONS PROVIDED FOR (E) ROUGH OPENING 2. PROVIDE (N) HINGES - (3) PER JAMB - AND LOCKING HASP		
WINDOW SCHEDULE																	
WINDOW LETTER	LABEL	MAT'L	ELEV.	DEPTH	FRAME DETAILS				WINDOW				REMARKS				
					HEAD	JAMB	JAMB	SILL	MAT'L	ELEV.	GLAZING	SIZE					
												PR.					WIDTH
A	N/A	WD	A		6/A3.0				6/A5.0	WD			2'-6"	3'-0"	1. FIELD VERIFY DIMENSIONS PROVIDED FOR (E) ROUGH OPENING, QUANTITY (2)		





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project file:
Nevada Division of State Parks
Red House Phase 3 Bunkhouse
Spooner Backcountry,
Washoe County, Nevada

job number: 19-1300
date: February 21, 2020
drawn by: amm
checked by: prd
revisions:

sheet description:
INTERIOR ELEVATIONS

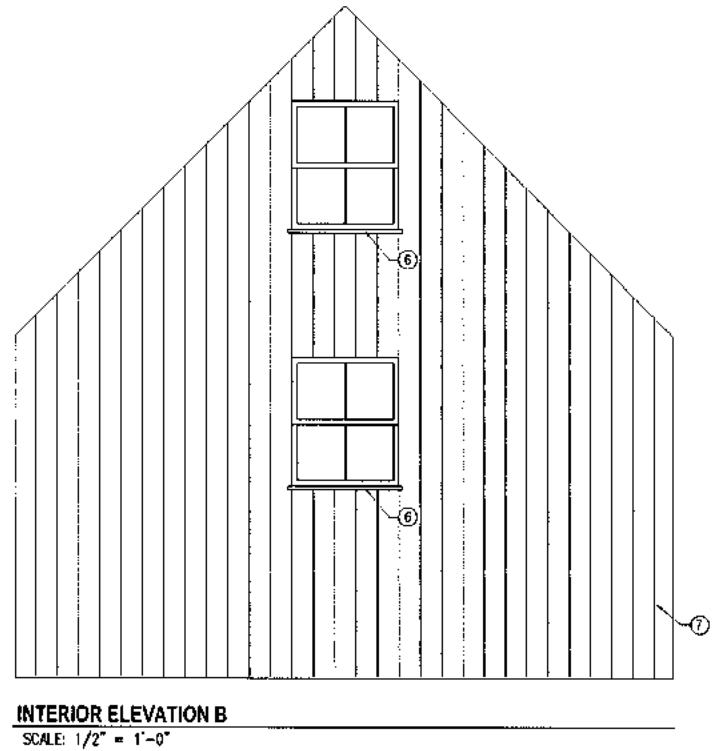
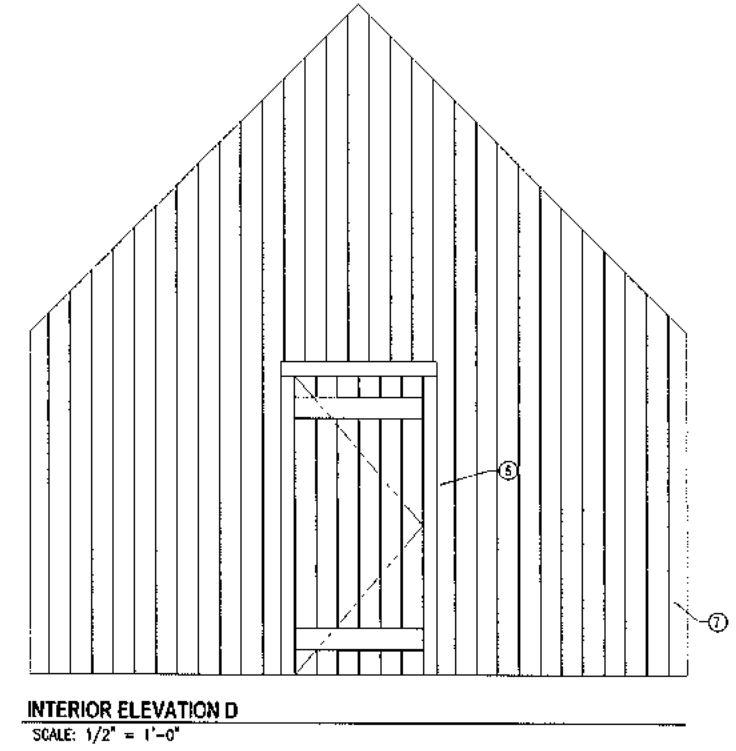
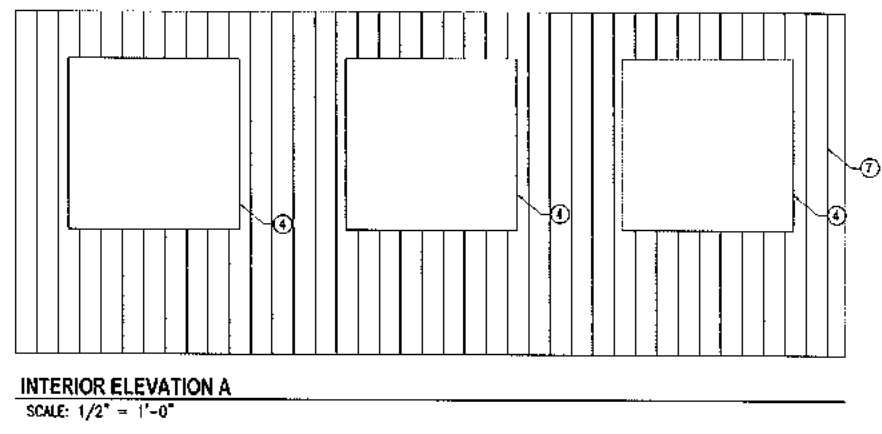
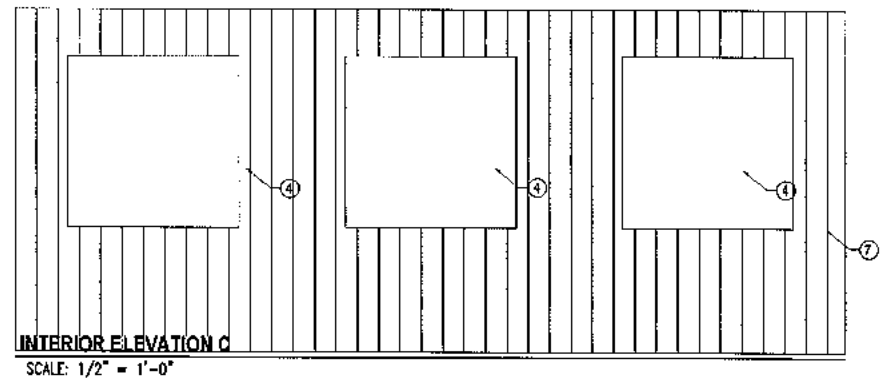
sheet number:
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GENERAL NOTES

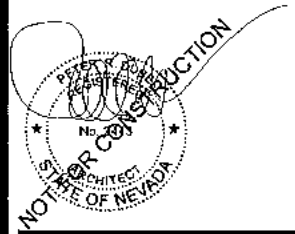
A. REFER TO SHEET G2.0 GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.

SHEET NOTES

- 1 REMOVE (E) BOARD & BATTON SIDING & TRIM INCLUDING VAPOR BARRIER, INFILL (E) OPENINGS AND PROVIDE (N) OPENINGS AS INDICATED. INSTALL (N) BACK PRIMED EXTERIOR BOARD & BATTON SIDING & TRIM, INCLUDING (N) VAPOR BARRIER
- 2 REMOVE (E) ROOFING, INCLUDING SHEATHING AND FRAMING. SEE STRUCTURAL DRAWINGS FOR (N) FRAMING & SHEATHING. PROVIDE (N) ROOF SYSTEM CONSISTING OF SNOW/ICE SHIELD, FIRE RESISTANT BREATHER UNDERLAYMENT, CEDAR SHINGLES, & METAL EDGE TRIM
- 3 CONTRACTOR TO PAINT ALL (N) SIDING, TRIM, AND FASCIA TYP.
- 4 INTERPRETIVE PANEL LOCATION, PROVIDED BY OTHERS. PROVIDE BACKING - SEE DETAIL 1
A6.0
- 5 REMOVE (E) PLYWOOD DOOR. INSTALL (N) DOOR, SEE DETAIL 7
A6.0
- 6 (N) WOOD WINDOW, TYP. OF (2)
- 7 INSTALL (N) WOOD INTERIOR PLANKING TYP. ALL INTERIOR WALLS SEE DETAIL 1
A6.0 FOR INSTALLATION METHOD
- 8 INSTALL (N) WOOD FLOORING OVER (E) SHEATHING SEE DETAIL 1
A6.0 PROVIDE KRAFT PAPER UNDERLAYMENT, TYP.
- 9 INSTALL (N) P.T. WOOD STAIR CASE SEE DETAIL 5
A6.0
- 10 INSTALL (N) 18" X 24" ACCESS CRAWL ACCESS, COORDINATE LOCATION WITH EXISTING STRUCTURAL FLOOR MEMBERS. PROVIDE LOCKABLE LATCH



NOTE: FULL-SIZE SETS ARE 24"X36" HALF-SIZE SETS ARE 12X18 CONFIRM SCALES SHOWN ON DRAWINGS



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project file:
Nevada Division of State Parks
Red House Phase 3 Bunkhouse
Spooner Backcountry,
Washoe County, Nevada

job number: 19-1300
date: February 21, 2020
drawn by: amn
checked by: prd
revisions:

sheet description:
ROOF PLAN

sheet number:
A4.0

GENERAL NOTES

- A. REFER TO SHEET G2.0 GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.

DEMOLITION NOTES

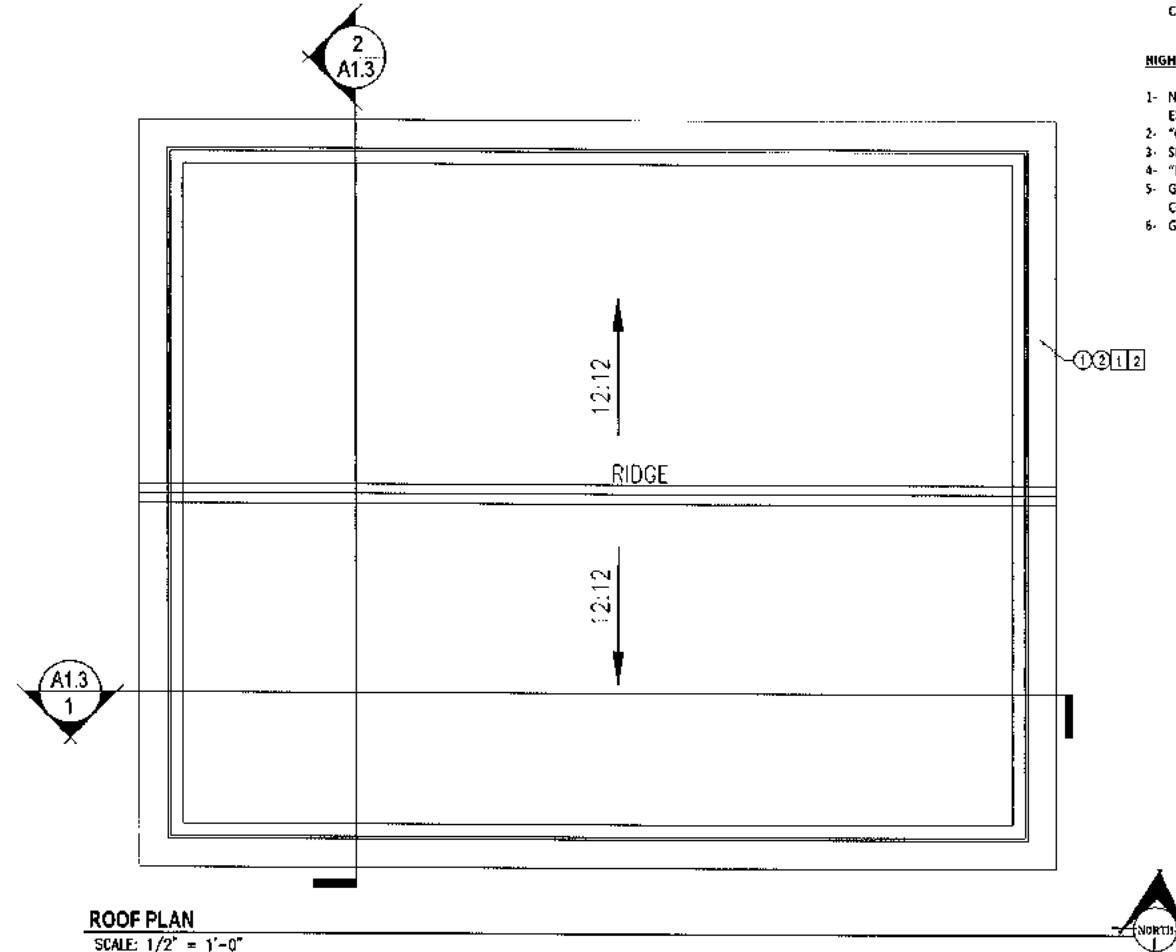
- 1 REMOVE (E) CEDAR SHINGLES, FELT, AND FLASHINGS INCLUDING RIDGE CAPS, DRIP EDGES, AND CHIMNEY STORM COLLARS AND CAPS
- 2 SEE STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.

CONSTRUCTION NOTES

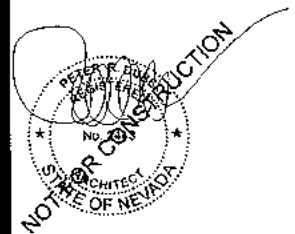
- 1 INSTALL (H) PREMIUM GRADE WESTERN RED CEDAR SHINGLES TO MATCH (E) WEATHER EXPOSURE OVER (M) UNDERLAYMENT AS SPECIFIED. PROVIDE (N) CUSTOM-FABRICATED US STEEL CORP G90 HOT-DIP GALVANIZED STEEL (COLOR MATCHED TO AGED COR-TEN) FLASHINGS, INCLUDING DRIP EDGES, CHIMNEY STORM COLLARS AND CAPS.
- 2 INSTALL NEW FASCIA, SOFFIT, AND TRIM. LIGHTLY SAND, PRIME (AND BACK-PRIME) ALL EXPOSED WOOD ROOF COMPONENTS. APPLY INTERMEDIATE AND TOP COAT SHERWIN WILLIAMS DURATION EXTERIOR ACRYLIC SATIN K23-200 SERIES. COLOR MATCH EXISTING - CLASSICAL WHITE

HIGH SLOPE (12:12) ROOF ASSEMBLY:

- 1- NO. 1 BLUE LABEL PREMIUM GRADE WESTERN RED CEDAR SHINGLES (MATCH (E) WEATHER EXPOSURE), 18 INCHES LONG
- 2- "CEDAR BREATHER" (1/4-INCH THICK) FIRE RESISTANT UNDERLAYMENT
- 3- SINGLE LAYER GRACE ICE AND WATER SHIELD NT UNDERLAYMENT
- 4- "RAPID RIDGE" NAIL-GUNNABLE RIDGE VENT
- 5- G90 HOT-DIP GALVANIZED STEEL (COLOR MATCHED TO AGED COR-TEN) STEEL CHIMNEY STORM COLLARS AND CAPS
- 6- G90 HOT-DIP GALVANIZED STEEL (COLOR MATCHED TO AGED COR-TEN) DRIP EDGE



ROOF PLAN
SCALE: 1/2" = 1'-0"



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job number: 19-1300
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revisions:






sheet description:
NORTH ELEVATION
EAST ELEVATION

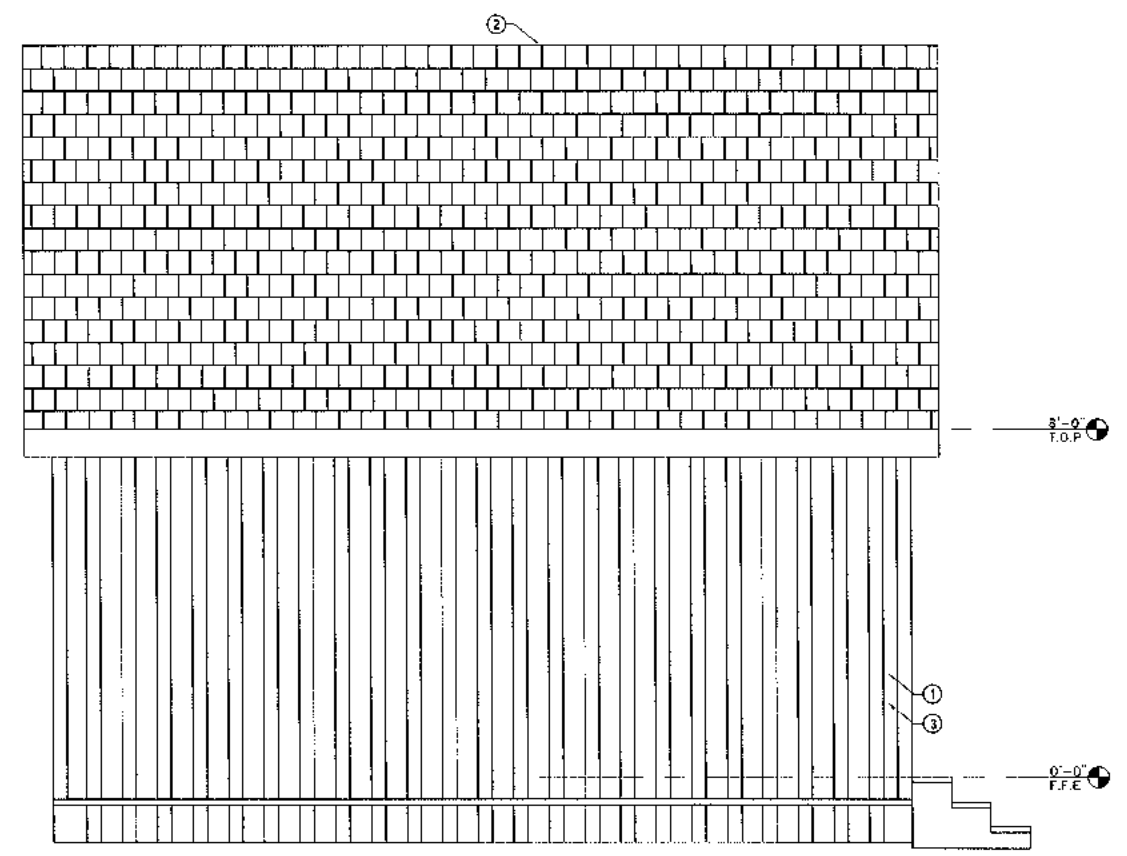
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GENERAL NOTES

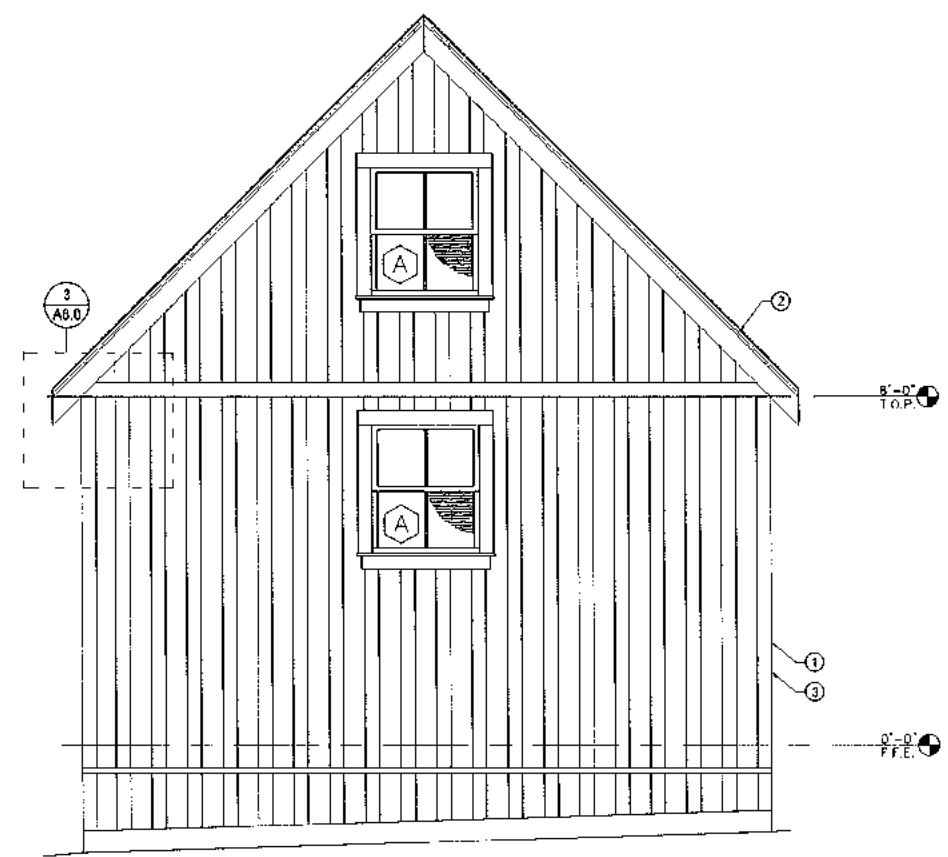
A. REFER TO SHEET G2.0 GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.

SHEET NOTES

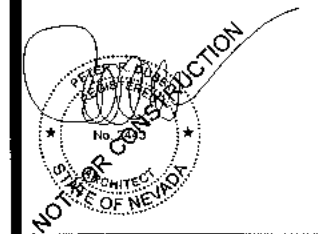
- 1 REMOVE (E) BOARD & BATTON SIDING & TRIM INCLUDING VAPOR BARRIER, INFILL (E) OPENINGS AND PROVIDE (N) OPENINGS AS INDICATED. INSTALL (N) BACK PRIMED EXTERIOR BOARD & BATTON SIDING & TRIM, INCLUDING (N) VAPOR BARRIER
- 2 REMOVE (E) ROOFING, INCLUDING SHEATHING AND FRAMING. SEE STRUCTURAL DRAWINGS FOR (N) FRAMING & SHEATHING. PROVIDE (N) ROOF SYSTEM CONSISTING OF SNOW/ICE SHIELD, FIRE RESISTANT BREATHER UNDERLAYMENT, CEDAR SHINGLES, & METAL EDGE TRIM
- 3 CONTRACTOR TO PAINT ALL (N) SIDING, TRIM, AND FASCIA TYP.
- 4 INTERPRETE PANEL LOCATION, PROVIDED BY  OTHERS. PROVIDE BACKING - SEE DETAIL
- 5 REMOVE (E) PLYWOOD DOOR. INSTALL (N) DOOR, SEE DETAIL 
- 6 (N) WOOD WINDOW, TYP. OF (2)
- 7 INSTALL (N) WOOD INTERIOR PLANKING TYP. ALL INTERIOR WALLS SEE DETAIL  FOR INSTALLATION METHOD
- 8 INSTALL (N) WOOD FLOORING OVER (E) SHEATHING SEE DETAIL  PROVIDE KRAFT PAPER UNDERLAYMENT, TYP.
- 9 INSTALL (N) P.T. WOOD STAIR CASE SEE DETAIL 
- 10 INSTALL (N) 18" X 24" ACCESS CRAWL ACCESS, COORDINATE LOCATION WITH EXISTING STRUCTURAL FLOOR MEMBERS. PROVIDE LOCKABLE LATCH



NORTH
SCALE: 1/2" = 1'-0"



EAST
SCALE: 1/2" = 1'-0"



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project file:
Nevada Division of State Parks

Red House Phase 3 Bunkhouse

Spoooner Backcountry,
Washoe County, Nevada

job number: 19-1300
date: February 21, 2020
drawn by: amn
checked by: prd
revisions:

sheet description:
SOUTH ELEVATION
WEST ELEVATION

sheet number:

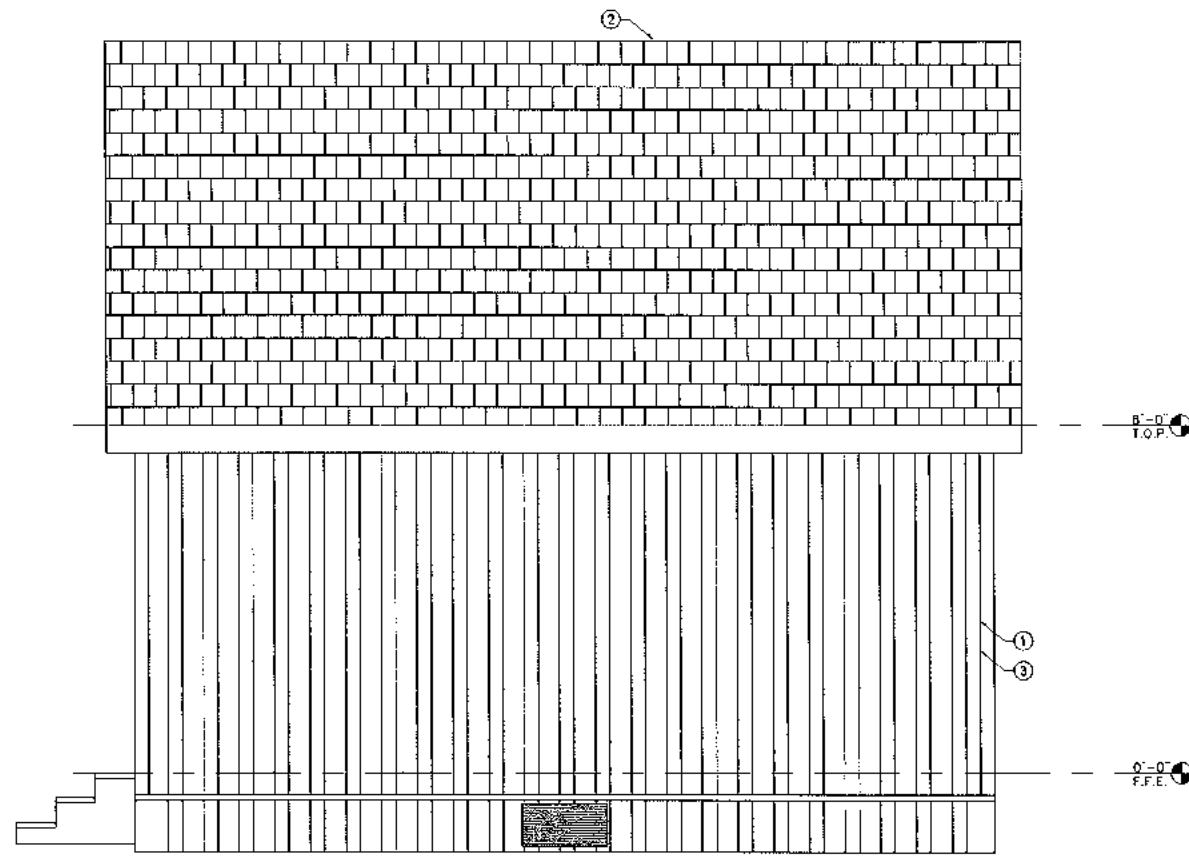
A5.1

GENERAL NOTES

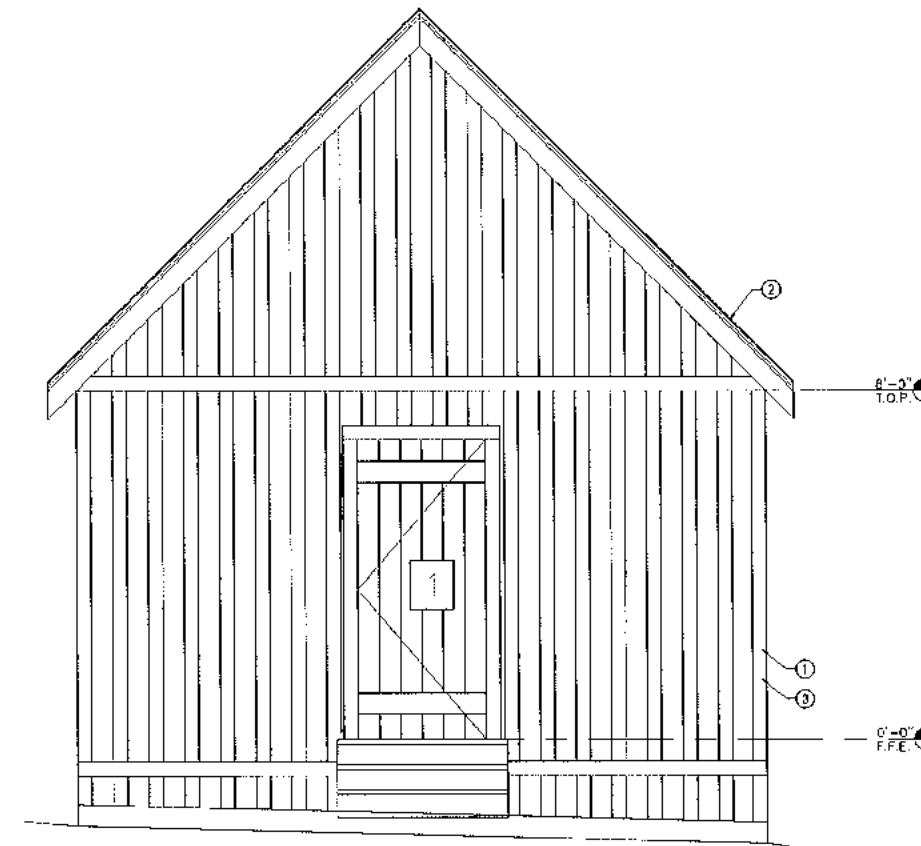
A. REFER TO SHEET G2.0 GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.

SHEET NOTES

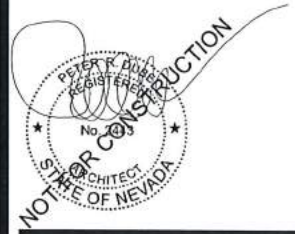
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- 3 CONTRACTOR TO PAINT ALL (N) SIDING, TRIM, AND FASCIA TYP.
- 4 INTERPRETIVE PANEL LOCATION, PROVIDED BY OTHERS. PROVIDE BACKING - SEE DETAIL 1
A6.0
- 5 REMOVE (E) PLYWOOD DOOR. INSTALL (N) DOOR, SEE DETAIL 7
A6.0
- 6 (N) WOOD WINDOW, TYP. OF (2)
- 7 INSTALL (N) WOOD INTERIOR PLANKING TYP. ALL INTERIOR WALLS SEE DETAIL 1
A6.0 FOR INSTALLATION METHOD
- 8 INSTALL (N) WOOD FLOORING OVER (E) SHEATHING SEE DETAIL PROVIDE KRAFT PAPER UNDERLAYMENT, TYP. 1
A6.0
- 9 INSTALL (N) P.T. WOOD STAIR CASE SEE DETAIL 5
A6.0
- 10 INSTALL (N) 18" X 24" ACCESS CRAWL ACCESS, COORDINATE LOCATION WITH EXISTING STRUCTURAL FLOOR MEMBERS. PROVIDE LOCKABLE LATCH



SOUTH
SCALE: 1/2" = 1'-0"



WEST PLAN
SCALE: 1/2" = 1'-0"



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project title:
Nevada Division of State Parks

Red House Phase 3 Bunkhouse

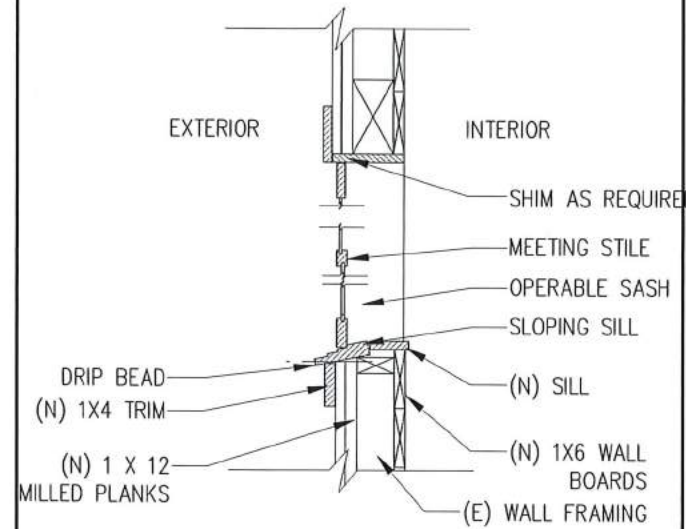
Spoooner Backcountry,
Washoe County, Nevada

job number: 19-1300
date: February 21, 2020
drawn by: amm
checked by: prd
revisions:

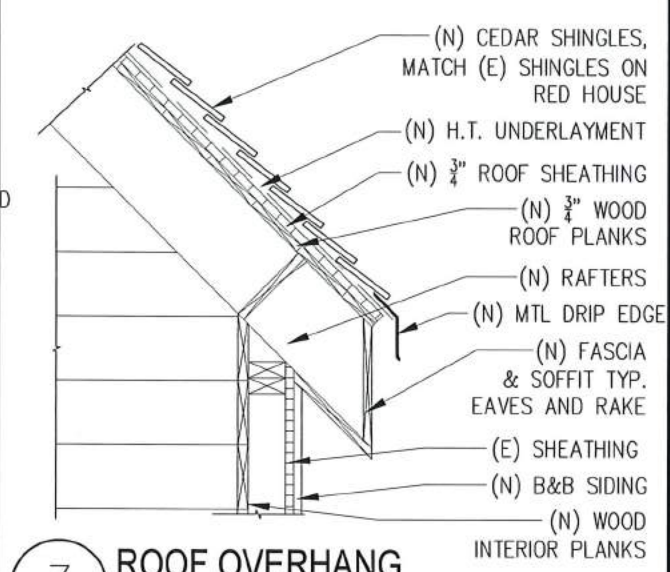
sheet description:
DETAILS

sheet number:

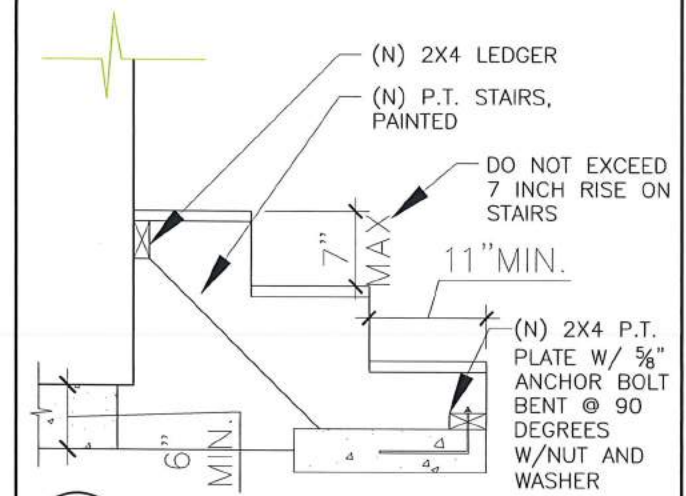
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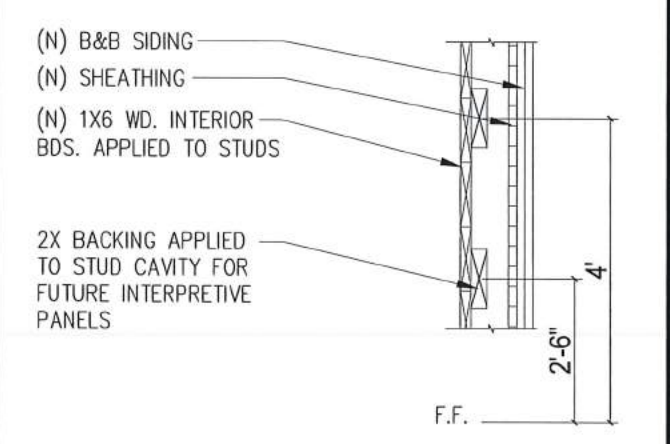
6 WINDOW SILL
SCALE:



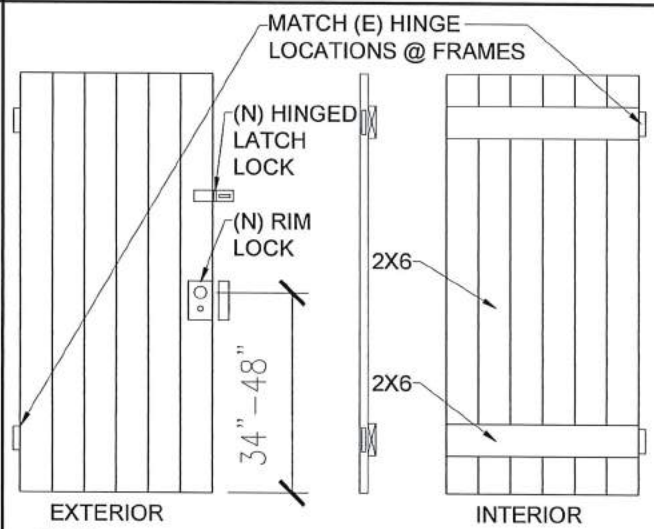
3 ROOF OVERHANG
SCALE:



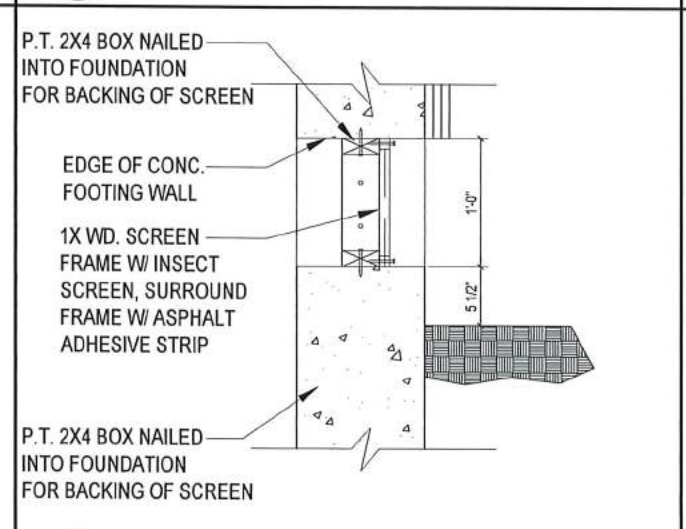
5 (N) STAIRS
SCALE:



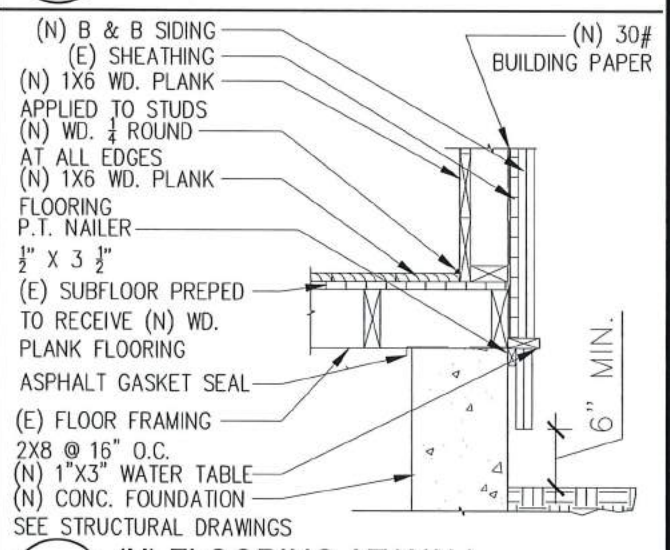
2 INTERPRETIVE PANEL BACKING
SCALE:



7 (N) DOOR
SCALE:



4 1' X 2' FOUNDATION VENT
SCALE:



1 (N) FLOORING AT WALL
SCALE:



NOT FOR CONSTRUCTION
2/26/20

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project title:
Nevada Division of State Parks
Red House Phase 3 Bunkhouse
Spooner Backcountry,
Washoe County, Nevada

job number: 1302001
date: FEBRUARY 26, 2020
drawn by: T.J.L.
checked by: PRD
revisions:

sheet description:
STRUCTURAL NOTES
STANDARD DETAILS

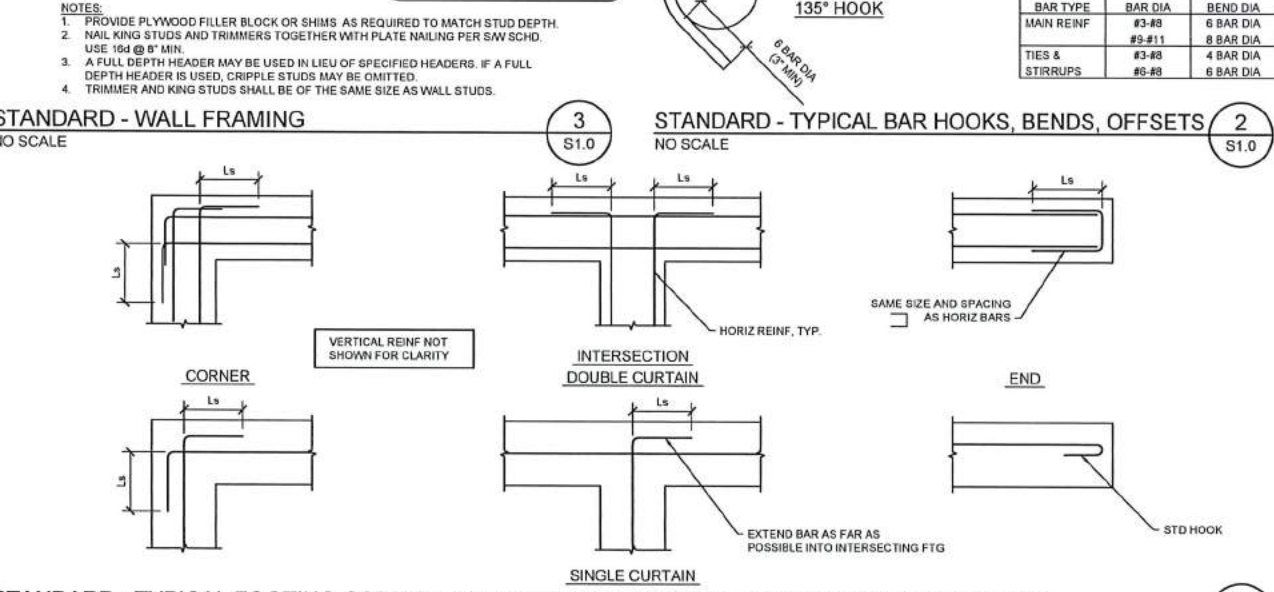
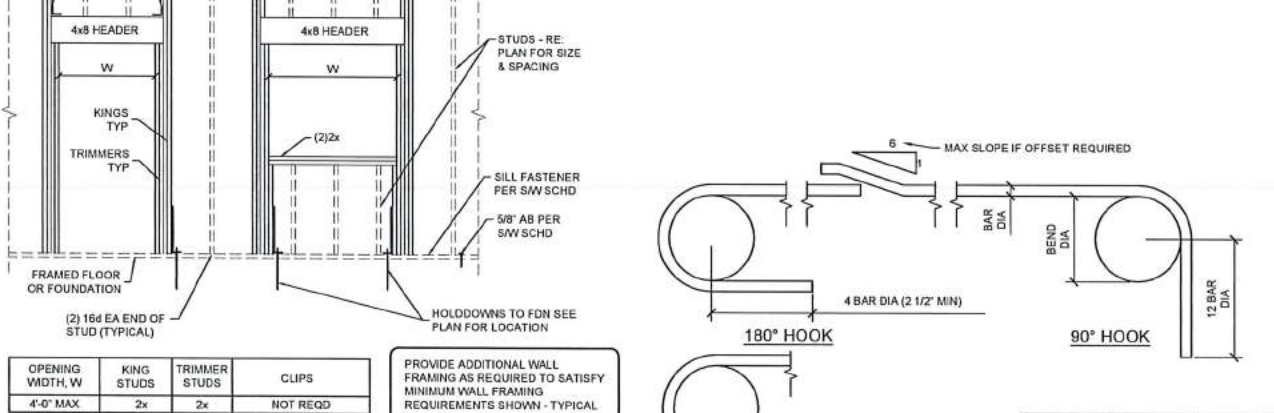
sheet number:
S1.0

- 1. GENERAL**
- THE FOLLOWING STRUCTURAL NOTES SHALL APPLY TO ALL STRUCTURAL DRAWINGS UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE.
 - ALL WORK SHALL CONFORM TO THESE NOTES, DRAWINGS, AND SPECIFICATIONS IN ALL RESPECTS.
 - PROMPTLY REPORT ANY DISCREPANCY FOUND AMONG THESE NOTES, DRAWINGS, SPECIFICATIONS, AND EXISTING CONDITIONS TO THE ENGINEER, WHO WILL CORRECT SUCH DISCREPANCIES IN WRITING. ANY WORK DONE BY THE CONTRACTOR AFTER THE DISCOVERY OF SUCH DISCREPANCY IS AT THE CONTRACTOR'S OWN RISK. VERIFY AND COORDINATE THE DIMENSIONS AMONG ALL DRAWINGS PRIOR TO PROCEEDING WITH ANY WORK OR FABRICATION. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION.
 - DO NOT SCALE WORKING DIMENSIONS FROM THESE PLANS, SECTIONS, OR DETAILS. DIMENSIONS REFER TO ROUGH CONCRETE SURFACES, FACE OF STUDS, FACE OF CONCRETE BLOCK, TOP OF SHEATHING OR TOP OF SLAB UNLESS OTHERWISE INDICATED.
 - DETAILS OF CONSTRUCTION NOT FULLY SHOWN OR NOTED ON THE DRAWINGS NOR CALLED FOR IN THE SPECIFICATIONS SHALL BE OF THE SAME SIZE AND CHARACTER AS FOR SIMILAR CONDITIONS WHICH ARE SHOWN AND NOTED.
 - THE WORD "TYPICAL" SHALL MEAN THAT INFORMATION SHOWN SHALL BE APPLIED TO ALL SIMILAR CONDITIONS WHETHER OR NOT THE INFORMATION IS SPECIFICALLY REFERENCED, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 - MODIFICATIONS OR SUBSTITUTIONS TO THE DESIGN, MATERIALS, OR PRODUCTS SPECIFIED ON THE PLANS ARE PROHIBITED WITH OUT PRIOR WRITTEN APPROVAL BY THE ENGINEER.
 - THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES AND TO PAY ALL ASSOCIATED FEES PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING AND MAINTAINING A SAFE WORK ENVIRONMENT IN ACCORDANCE WITH ALL LOCAL, STATE, FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS. THE CONTRACTOR SHALL EXECUTE WORK TO ENSURE SAFETY OF PERSONS AND PROPERTY AGAINST DAMAGE AND SHALL PROVIDE ADEQUATE SHORING AND BRACING AS REQUIRED FOR STABILITY DURING ALL PHASES OF CONSTRUCTION. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE MEANS AND METHODS OF CONSTRUCTION. STRUCTURAL CALCULATIONS AS PROVIDED AS PART OF THE CONSTRUCTION DOCUMENTS ARE BASED ON A COMPLETED STRUCTURE. THE STRUCTURAL ADEQUACY OF THE PARTIALLY COMPLETED STRUCTURE INCLUDING TRUSS FRAMING AND INSTALLATION TO RESIST APPLIED LOADS IS BEYOND THE SCOPE OF THESE STRUCTURAL DRAWINGS.
 - THESE DRAWINGS ARE TO SHOW STRUCTURAL INFORMATION ONLY. FOR ALL NON-STRUCTURAL INFORMATION AND DETAILS INCLUDING BUT NOT LIMITED TO WATERPROOFING, DRAINAGE, FINISHES, REFER TO THE ARCHITECT'S DRAWINGS.
- 2. DESIGN CRITERIA**
- DESIGN, MATERIALS, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODE AS AMENDED AND ADOPTED BY WASHOE COUNTY, NEVADA.
 - ALL OTHER CODES AND STANDARDS SHALL BE THE MOST CURRENT ADOPTED EDITION AS OF THE DATE OF THESE DRAWINGS.
- 2.3. SNOW LOADS:**
- | | |
|------------------------------------|-----------------------|
| SNOW LOAD IMPORTANCE FACTOR, I_s | 1.0 |
| GROUND SNOW LOAD, P_g | 200 PSF (ELEV. 7000') |
| FLAT ROOF SNOW LOAD, P_f | 185 PSF |
| SNOW EXPOSURE FACTOR, C_e | 1.1 |
| THERMAL FACTOR, C_t | 1.2 |
- 2.4. WIND DESIGN:**
- | | |
|-----------------------------------|------------------|
| BASIC WIND SPEED, V_{10} | 120 MPH |
| NOMINAL WIND SPEED, V_{50} | 93 MPH |
| RISK CATEGORY: | II |
| WIND EXPOSURE: | C |
| INTERNAL PRESSURE COEFFICIENT: | ±0.18 |
| VELOCITY PRESSURE AT MEAN HEIGHT: | 37.8 PSF (MWFRS) |
| | 53.8 PSF (C&C) |
- 2.7. SEISMIC DESIGN:**
- | | |
|--|---|
| RISK CATEGORY: | II |
| SEISMIC IMPORTANCE FACTOR, I_s | 1.0 |
| MAPPED SPECTRAL ACCELERATION, S_s | 1.84 g |
| | 0.70 g |
| SITE CLASS: | S1 |
| SPECTRAL RESPONSE COEFFICIENT, S_{ds} | 1.23 g |
| | 0.79 g |
| SEISMIC DESIGN CATEGORY: | D |
| BASIC SEISMIC FORCE-RESISTING SYSTEM: | LIGHT-FRAMED WALLS SHEATHED WITH RATED WOOD STRUCTURAL PANELS |
| DESIGN BASE SHEAR: | 2.8 KIPS |
| SEISMIC RESPONSE COEFFICIENT, C_s | 0.19 |
| RESPONSE MODIFICATION COEFFICIENT, R : | 6.5 |
| ANALYSIS PROCEDURE: | EQUIVALENT LATERAL FORCE |
- 3. FOUNDATIONS**
- 3.1 ALLOWABLE LOAD-BEARING VALUES OF SOILS: IBC TABLE 1806.2
- | | |
|--------------------------------|----------|
| ALLOWABLE FOUNDATION PRESSURE: | 2000 PSF |
| LATERAL BEARING (PASSIVE): | 150 PSF |
| LATERAL SLIDING: | 0.25 |
| MIN DEPTH OF FOOTINGS: | 24" MIN |
- 3.4 PRIOR TO COMMENCING ANY WORK, CONTRACTOR SHALL REVIEW AND UNDERSTAND THE INFORMATION AND RECOMMENDATIONS CONTAINED IN THE REPORT. THE CONTRACTOR SHALL INSPECT THE SITE FOR ANY EXISTING ITEMS THAT MAY INTERFERE WITH THE PROPOSED IMPROVEMENTS. NOTIFY ENGINEER WHERE CONFLICTS EXIST. RELOCATE OR AVOID AS NECESSARY AS TO NOT DAMAGE OR INTERFERE WITH EXISTING TO REMAIN.
- 3.5 GENERAL SITE CLEARING SHALL INCLUDE THE REMOVAL OF ALL SURFACE DEBRIS, RUBBLE, AND LARGER VEGETATION AND ORGANICS AS DIRECTED BY THE ENGINEER.
- 3.7 SCARIFY THE SOILS EXPOSED TO EXCAVATION TO A DEPTH OF 8" AND RE-COMPACT TO 95% MAXIMUM DRY DENSITY (ASTM D-1557, METHOD C). WATER OR DRY MATERIALS AS NECESSARY TO OBTAIN PROPER MOISTURE CONTENT.
- 3.8 TRENCHING MAY BE USED FOR FOOTINGS ONLY WHERE THE SOIL IS FIRM AND STABLE, AND THE CONCRETE WILL NOT BE EXPOSED. CONCRETE SURFACES WITHIN 6" OF FINISHED GRADE ARE CONSIDERED EXPOSED. WHERE TRENCHING IS USED, EXCAVATION SHALL BE 2" WIDER THAN SPECIFIED ON PLANS.
- 3.9 PLACE ALL FOOTINGS ON APPROVED SOIL (UNDISTURBED NATURAL SOILS OR COMPACTED ENGINEERED FILL). FILL HOLES DUE TO REMOVAL OF LARGE ROCKS OR OVER-EXCAVATION WITH CONCRETE.
- 3.10 FOOTING EXCAVATIONS SHALL BE NEAT AND TRUE, WITH ALL LOOSE MATERIAL AND STANDING WATER REMOVED BEFORE FOOTING CONCRETE IS PLACED.
- 3.11 ALL EXCAVATIONS, FORMS AND REINFORCING SHALL BE INSPECTED BY THE BUILDING OFFICIAL AND ENGINEER PRIOR TO PLACING CONCRETE.
- 3.12 PLACE ALL LOOSE SOIL AND FILL INCLUDING BACKFILL BEHIND WALLS IN 6" LIFTS AND UNIFORMLY COMPACT TO AT LEAST 90% MAXIMUM DENSITY PER ASTM D1557.
- 3.13 FOUNDATIONS AT THE BUILDING PERIMETER SHALL BE PROTECTED AGAINST WATER INFILTRATION, SEEPAGE, AND SURFACE AND SUBSURFACE FLOW. MEANS OF PROTECTION INCLUDE, BUT ARE NOT LIMITED TO, SITE GRADING (IBC 1803.3).
- 4. CAST-IN-PLACE CONCRETE**
- 4.1 CONCRETE MATERIALS AND CONSTRUCTION SHALL COMPLY WITH IBC CHAPTER 19, ACI 318, AND ACI 301.
- 4.2 CONCRETE PROPERTIES AND COMPOSITION (ASTM C84):
- | PROPERTY | CLASS A |
|------------------|------------|
| 28-DAY f_c (1) | (4000) PSI |
| W/C | 0.45 |
| UNIT WT (2) | 145 PCF |
| AIR (+) (-) (3) | 6% |
| SLUMP (MAX) (4) | 3" |
| SHRINKAGE (5) | NR |
| CEMENT (6) | TYPE II |
| MIN CEMENT | NR |
| FIBER REINF (7) | 1.5 LB PCY |

- NOTES:**
- FOUNDATION DESIGN FOR CONCRETE ENCLOSED IN (I) IS DESIGNED FOR 2500 PSI AND DOES NOT REQUIRE SPECIAL INSPECTION.
 - AGGREGATE PER ACI 318, SECTION 3.3.
 - 6% MAXIMUM AIR FOR 3/4" MAX AGGREGATE AND 7% FOR 1/2" MAX AGGREGATE.
 - SLUMPS ARE FOR UNPLASTICIZED CONCRETE. LARGER SLUMPS MAY BE ATTAINED THROUGH THE USE OF SUPERPLASTICIZER. WATER REDUCING ADMIXTURES FOR PIERS SHALL CONFORM TO ASTM C 494, TYPE D, TO MEET SLUMP REQUIREMENTS.
 - SHRINKAGE AT 28 DAYS (MIN) PER ASTM C 157.
 - CEMENT PER ASTM C150, C595, C1157 AS APPROPRIATE.
 - SYNTHETIC MICRO FIBERS (ASTM C1116) 1/2" - 3/4" LONG, MINIMUM RATE INDICATED, RATE PER MANUFACTURERS WRITTEN INSTRUCTIONS.
- CLASS A: FOUNDATIONS, LINO
CLASS B: EXTERIOR SLABS ON GRADE, FOUNDATION WALLS
CLASS C: INTERIOR SLABS ON GRADE
- 4.3 ADMIXTURES SHALL COMPLY WITH ACI 318, SECTION 3.6
- 4.4 CONCRETE THAT IS TO BE PLACED DURING FREEZING OR NEAR-FREEZING WEATHER SHALL COMPLY WITH THE REQUIREMENTS OF ACI 318, SECTION 5. EQUIPMENT SHALL BE PROVIDED FOR HEATING CONCRETE MATERIALS AND PROTECTING CONCRETE. CONCRETE MATERIALS AND REINFORCEMENT, FORMS, FILLERS, AND GROUND WITH WHICH CONCRETE WILL COME IN CONTACT SHALL BE FREE OF FROST, FROZEN MATERIALS OR MATERIALS CONTAINING ICE SHALL NOT BE USED.
- 4.5 APPROVAL MUST BE OBTAINED PRIOR TO PLACING CONCRETE FOR ANY OPENINGS, SLEEVES, OR OTHER ATTACHMENTS NOT SHOWN ON DRAWINGS.
- 4.6 PROVIDE 3/4" CHAMFER ON ALL EXPOSED CORNERS OF CONCRETE UNLESS DETAILED OTHERWISE.
- 4.7 ROUGHEN THE EXISTING CONCRETE SURFACE AT THE INTERFACE OF CONSTRUCTION JOINTS TO AN AMPLITUDE OF 1/4" - 1/4" PRIOR TO PLACING NEW CONCRETE. THOROUGHLY WET THE INTERFACE SURFACE AND REMOVE AND STANDING WATER.
- 4.8 FORMS SHALL CONFORM TO ACI 347 AND SHALL BE PROPERLY THROUGHT TO CONCRETE SURFACES AS SHOWN ON THE DRAWINGS, SUFFICIENT TIGHT TO PREVENT LEAKAGE, SUFFICIENTLY STRONG, AND BRACED TO MAINTAIN SHAPE AND ALIGNMENT.
- 4.9 FORMS AND SHORING SHALL BE MAINTAINED UNTIL THE CONCRETE HAS ATTAINED SUFFICIENT STRENGTH TO WITHSTAND ALL LOADS TO BE IMPOSED WITHOUT EXCESS STRESS, CREEP OR DEFLECTION.
- 5. CONCRETE REINFORCEMENT**
- 5.1 REINFORCEMENT SHALL CONFORM TO ACI 318, SECTION 3.5 AND ASTM A615, GRADE 60 (#4 AND LARGER) AND GRADE 40 (#3 BARS ONLY).
- 5.2 CONCRETE REINFORCEMENT DETAILS INCLUDING BAR SUPPORTS AND PLACING SHALL CONFORM TO ACI 315 AND THE CONCRETE REINFORCING STEEL INSTITUTE "MANUAL OF STANDARD PRACTICE." HOOKS SHALL BE PER ACI 318, SECTION 7.1 UNLESS DETAILED OTHERWISE.
- 5.3 PROVIDE THE FOLLOWING COVER ON REINFORCEMENT UNLESS NOTED OTHERWISE IN DRAWINGS. COVER SHALL BE TO FACE OF BAR, MECHANICAL COUPLER, OR WELDED HEADED BAR.
- | CAST-IN-PLACE CONCRETE | MINIMUM CONCRETE COVER |
|---|------------------------|
| CAST AGAINST AND EXPOSED TO EARTH | 3" |
| EXPOSED TO EARTH OR WEATHER #5 AND SMALLER | 1 1/2" |
| CLEAR TO TOP FOR REINFORCEMENT IN SLAB-ON-GRADE | 1 1/2" |
- 5.4 PROVIDE LAP SPLICES, AND DEVELOPMENT OF STANDARD HOOKS AS SPECIFIED IN ACI 318, CHAPTER 12. MAKE LAP SPLICES ONLY AT LOCATIONS SHOWN ON DRAWINGS, AS INDICATED IN THESE NOTES, OR AS APPROVED BY THE ENGINEER.
- 5.5 LAP SPlice ALL BARS A MINIMUM OF 40 BAR DIAMETERS UNLESS OTHERWISE NOTED. STAGGER LAP SPLICES A MINIMUM OF 24 INCHES.
- 5.6 SECURELY TIE ALL REINFORCEMENT PRIOR TO PLACING CONCRETE INCLUDING LAP SPLICES. TIES SHALL BE SUFFICIENT TO MAINTAIN THEIR EXACT POSITION THROUGHOUT THE PLACEMENT OF CONCRETE.
- 5.7 BEND REINFORCING STEEL IN ACCORDANCE WITH ACI 301, SECTION 3.3.2.8. #3, #4, & #5 BARS MAY BE BENT COLD THE FIRST TIME PROVIDED TEMPERATURE OF BAR IS ABOVE 32°F. FOR OTHER BAR SIZES PREHEAT REINFORCING BARS PRIOR TO BENDING.
- 6. ANCHORS TO CONCRETE**
- 6.1 THE CONTRACTOR SHALL INSTALL ANCHOR RODS OF THE SIZE, MINIMUM EMBEDMENT, MINIMUM PROJECTION, AND PLAN LOCATIONS AS INDICATED ON THE STRUCTURAL DRAWINGS.
- 6.2 THREADED ROD AND ANCHOR BOLTS SHALL BE ASTM F1554, GRADE 36 GALVANIZED (ASTM A153). PROVIDE GALVANIZED HEAVY HEAD NUTS (ASTM A563A) AND WASHERS (ASTM F436) ABOVE GRADE.
- 6.3 POST-INSTALLED EPOXY ANCHORS SHALL BE INSTALLED USING SIMPSON SET-XP (ESR-2508) PER THE MANUFACTURERS WRITTEN INSTRUCTION.
- 6.4 EPOXY ANCHORS SHALL BE INSTALLED IN CONCRETE HAVING A MINIMUM AGE OF 21 DAYS AT THE TIME OF ANCHOR PER SECTION 11.2.2 OF ACI 318.
- 6.5 MINIMUM EMBEDMENT FOR POST-INSTALLED EPOXY ANCHORS SHALL BE AS INDICATED ON THE PLANS BUT IN NO CASE LESS THEN SPECIFIED BY THE MANUFACTURER FOR THE DIAMETER.
- 6.6 CONCRETE SCREW ANCHORS SHALL BE SIMPSON TITEN HD (ESR-2713/AMPO EQ 0493) PER THE MANUFACTURERS WRITTEN INSTRUCTION. PROVIDE MATCHING WASHERS MEETING ASME B18.21.1.
- 6.7 CLEAN ALL NUTS, WASHERS, AND BOLTS FROM CONTAMINANTS PRIOR TO INSTALLATION.
- 7. WOOD CONSTRUCTION**
- 7.1 FRAMING SHALL CONFORM TO IBC CHAPTER 23 AND AF&PA'S NDS.
- 7.2 PROTECT ALL WOOD FRAMING MATERIALS FROM EXCESSIVE MOISTURE AND OR EXPOSURE AFTER DELIVERY TO JOB SITE. WOOD FRAMING SHALL BE STACKED ABOVE GRADE AND COVERED PRIOR TO INSTALLATION.
- 7.3 SAWN LUMBER (#4S) SHALL BE STAMPED DOUGLAS-FIR #2 AS DEFINED IN THE NDS, TABLES 4A AND 4D WITH A MAXIMUM MOISTURE CONTENT 19% AT TIME OF INSTALLATION AND PRIOR TO BEING COVERED WITH WALL AND FLOOR FINISHES. ALL SOLE PLATES AND SILL PLATES SHALL BE STAMPED KD.
- 7.4 RAFTERS AND EXPOSED FRAMING SHALL BE ROUGH SAWN - DOUGLAS FIR-LARCH #1 OR BETTER PER WCLB - KILN DRIED.
- 7.5 USE PRESSURE TREATED DOUGLAS-FIR #2 FOR WOOD WITHIN 6" OF EARTH OR IN CONTACT WITH CONCRETE. HARDWARE IN CONTACT WITH PT LUMBER SHALL BE HOT-DIPPED GALVANIZED (G185) OR STAINLESS STEEL.
- 7.6 PLYWOOD SHEETS SHALL BE THE THICKNESS NOTED ON THE DRAWINGS AND SHALL BE IDENTIFIED WITH THE APPROPRIATE GRADE, TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION AND SHALL MEET THE REQUIREMENTS OF PRODUCT STANDARD PS-95.
- 7.7 ROOF SHEATHING SHALL BE APA C-D SPAN RATED PANELS, EXPOSURE I, AS FOLLOWS:
- | | |
|----------------|---|
| MIN THICKNESS: | 23/32" PLYWOOD (UNSAUNDED), SPAN INDEX: 48/24 |
| MIN NAILING: | 10d, BN = 6", EN = 6", FN = 12" |
- NAIL WITH 10d RING OR SCREW SHANK NAILS (0.148" x 3").
- 7.8 WALL SHEATHING SHALL BE APA C-D SPAN RATED PANELS, EXPOSURE I, AS FOLLOWS:
- | | |
|----------------|---|
| MIN THICKNESS: | 15/32" PLYWOOD |
| MIN NAILING: | 10d (0.148" x 3"), BN = 6", EN = 6", FN = 12" |
- PROVIDE 2x BLOCKING AT ALL PANEL EDGES NOT SUPPORTED BY STUDS.
- 7.9 LAP PLYWOOD FOR ROOFS WITH FACE GRAIN PERPENDICULAR TO JOISTS AND WITH END JOINTS STAGGERED. WHERE PANELS ARE LESS THAN 24" WIDE, BLOCK ALL EDGES. PROVIDE 1/2" GAP BETWEEN PARALLEL PANELS AND 1/4" BETWEEN END JOINTS. STAGGER FASTENERS ON COMMON FRAMING.
- 7.10 USE COMMON NAILS ONLY. BOX NAILS AND SINKERS (GVS) ARE NOT ACCEPTABLE. WHERE NAILS ARE EXPOSED TO WEATHER, USE ZINC COATED, OR STAINLESS STEEL CONFORMING TO IBC 2318.3.
- 7.11 USE FRAMING HARDWARE AS MANUFACTURED BY SIMPSON STRONG-TIE OF THE SIZE AND TYPE INDICATED ON THESE PLANS. INSTALL PER MANUFACTURERS WRITTEN INSTRUCTIONS. USE THE MAXIMUM NUMBER OF FASTENERS FOR EACH CONNECTION. UNO FRAMING HARDWARE SHALL BE HIDDEN TO THE GREATEST EXTENT POSSIBLE BY THE ARCHITECTURAL FINISHES. WHERE FRAMING HARDWARE IS EXPOSED - COORDINATE WITH ARCHITECT AND ENGINEER FOR ALTERNATE ASSEMBLIES OR FINISHING REQUIREMENTS.
- 7.12 FRAMING HARDWARE SHALL BE HOT-DIP GALVANIZED (G60 MIN COATING). HARDWARE IN CONTACT WITH ACQ-C, ACQ-D, CBA-A, CA-B, OR SBX SHALL BE HOT-DIP GALVANIZED (G185 MIN COATING). HARDWARE IN CONTACT WITH PT LUMBER WITH AC208 OR OTHER AMMONIA CARRIER SHALL BE STAINLESS STEEL.

- 7.13 ATTACH SILL PLATES WITH 5/8" DIA ANCHOR BOLTS AT 32" MAXIMUM, UNLESS NOTED OTHERWISE. EACH ANCHOR BOLT SHALL BE EQUIPPED WITH A MINIMUM 3" SQUARE X 3 GAUGE PLATE WASHER. ANCHOR BOLTS SHALL BE INSTALLED SUCH THAT THE PLATE WASHER IS LESS THAN 1/2" FROM INSIDE FACE OF PLYWOOD SHEATHING. ANCHOR BOLTS SHALL BE LOCATED A MINIMUM OF 15 ANCHOR DIAMETERS FROM ANY CONCRETE END THAT IS PERPENDICULAR TO THE SILL PLATE.
- 7.14 FOR WOOD TO WOOD NAILED CONNECTIONS USE A MINIMUM SPACING AND EDGE DISTANCE OF (1) DIAMETERS AND (6) DIAMETERS RESPECTIVELY.
- 7.15 WHERE REQUIRED TO AVOID SPLITTING, PRE-DRILL HOLES WITH A DRILL DIAMETER EQUAL TO THE NEXT SMALLER NAIL DIAMETER. IN NO CASE SHALL HOLES EXCEED 75% OF NAIL DIAMETER.
- 7.16 TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30° AND SHALL BE LOCATED WITHIN 1/3 OF THE NAIL LENGTH FROM THE END OF THE MEMBER.
- 7.17 USE THE FOLLOWING MINIMUM NAILING SCHEDULE:
- | | |
|---|-------------------|
| JOIST TO SILL OR GIRDER, TOENAIL: | (3) 10d |
| BRIDGING TO JOIST, TOENAIL, EA END: | (2) 10d |
| SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL: | 16d @ 12" |
| TOP PLATE TO STUD, END NAIL: | (2) 16d |
| STUD TO SOLE PLATE, TOENAIL: | (4) 8d |
| DOUBLE STUDS, FACE NAIL: | 16d @ 16" |
| DOUBLE TOP PLATE, FACE NAIL: | 16d @ 12" |
| CONTINUOUS HEADER TO STUD, TOENAIL: | (4) 8d |
| RAFTERS, TRUSSES TO PLATE, TOENAIL: | (3) 10d |
| BUILT UP CORNER STUDS: | 16d @ 16" |
| LOCKING OVER BEARING WALLS TO SILL PLATE: | (3) 16 EACH BLOCK |
- QUANTITIES AND SPACING LISTED ARE FOR COMMON NAILS ONLY. 16d GVS MAY BE SUBSTITUTED WHERE NAILING DOES NOT OCCUR IN A SHEARWALL.
- 7.18 WHERE HOLD-DOWNS ARE INDICATED AT ENDS OF SHEARWALLS, NAIL THE SHEATHING TO THE MEMBER TO WHICH THE HOLD-DOWN IS CONNECTED USING THE SAME NAILING SPECIFIED FOR THE PLYWOOD PANEL EDGE.
- 7.19 BEARING SURFACES OF COLUMNS AND TIMBER JOINERY SHALL BE TIGHT AND TRUE.
- 7.20 ALL RAFTERS SHALL STACK DIRECTLY OVER (E) WALL FRAMING BELOW - PROVIDE ADDITIONAL STUDS WHERE REQUIRED.
- 8. SPECIAL INSPECTIONS AND TESTING**
- 8.1 PROVIDE SPECIAL INSPECTIONS IN COMPLIANCE WITH IBC 1704 BY AN APPROVED INSPECTOR.
- 8.2 CONCRETE CONSTRUCTION, IBC 1705.3.
- SPECIAL INSPECTION IS NOT REQUIRED FOR FOUNDATIONS. DESIGN IS BASED ON A CONCRETE COMPRESSIVE STRENGTH OF 2500 PSI.

- | | | | |
|------|----------------------|-------|-------------------------|
| A | AND | HORIZ | HORIZONTAL |
| AB | ANCHOR BOLT | HSA | HEADED STUD ANCHOR |
| ABV | ABOVE | HSB | HIGH STRENGTH BOLT |
| AC | ADJACENT | HSS | HOLLOW STRUCTURAL SHAPE |
| ADL | ADDITIONAL | IF | INSIDE FACE |
| ADJ | ADJACENT | IN | INCH |
| AFF | ABOVE FINISHED FLOOR | INT | INTERIOR |
| ALT | ALTERNATE | LLH | LONG LEG HORIZONTAL |
| APPD | APPROVED | LLV | LONG LEG VERTICAL |
| BLDG | BUILDING | LW | LIGHTWEIGHT |
| BK | BLOCK | MFG | MANUFACTURED |
| BLKG | BLOCKING | MAX | MAXIMUM |
| BLW | BELOW | MB | MACHINE BOLT |
| BM | BEAM | MIN | MINIMUM |
| BO | BOTTOM OF | MTL | METAL |
| BOT | BOTTOM | N/A | NOT APPLICABLE |
| BRG | BEARING | NIC | NOT IN CONTACT |
| CIP | CAST-IN-PLACE | NS | NEAR SIDE |
| CJ | CONSTRUCTION JOINT | NTS | NOT TO SCALE |
| ADJ | CENTER LINE | OC | ON CENTER |
| CLR | CLEAR | OF | OUTSIDE FACE |
| CONC | CONCRETE | OH | OPPOSITE HAND |
| COND | CONDITION | OPG | OPENING |
| CONN | CONNECTION | PDF | POWER DRIVEN FASTENER |
| CONT | CONTINUOUS | PL | PLATE |
| CTJ | CONTROL JOINT | PLY | PLYWOOD |
| CTR | CENTER | R | RADIUS |
| CTRD | CENTERED | RE | REFER TO |
| DEA | DEFORMED BAR ANCHOR | REINF | REINFORCEMENT |
| DBL | DOUBLE | REQ | REQUIRED |
| DET | DETAIL | RS | ROUGH SAWN |
| DIA | DIAMETER | S4S | SURFACED FOUR SIDES |
| DIAG | DIAGONAL | SCHD | SCHEDULE |
| DN | DOWN | SECT | SECTION |
| DWG | DRAWING | SIM | SIMILAR |
| (E) | EXISTING | SPECS | SPECIFICATIONS |
| EA | EACH | SQ | SQUARE |
| EF | EACH FACE | STGRD | STAGGERED |
| EJ | EXPANSION JOINT | STD | STANDARD |
| ELEV | ELEVATION | STIFF | STIFFENER |
| EQ | ENGINEER OF RECORD | STL | STEEL |
| EPS | EXPANDED POLYSTYRENE | SYMM | SYMMETRICAL |
| EQ | EQUAL | SAW | SHEAR WALL |
| ES | EACH SIDE | T&B | TOP AND BOTTOM |
| EW | EACH WAY | TF | TOP OF FINISHED FLOOR |
| EXA | EXPANSION ANCHOR | THR | THREADED |
| EXT | EXTERIOR | TOC | TOP OF CONCRETE |
| FDN | FOUNDATION | TOS | TOP OF STEEL |
| FG | FINISHED GRADE | TYP | TYPICAL |
| FN | FINISH | UNO | UNLESS NOTED OTHERWISE |
| FLR | FLOOR | VF | VERIFY IN FIELD |
| FCC | FACE OF CONCRETE | VERT | VERTICAL |
| FW | FACE OF WALL | W | WITH |
| FS | FAR SIDE | W/O | WITHOUT |
| FTG | FOOTING | WF | WIDE FLANGE |
| GALV | GALVANIZED | WP | WORK POINT |
| GB | GRADE BEAM | WS | WATERSTOP |
| GRD | GRADE | | |





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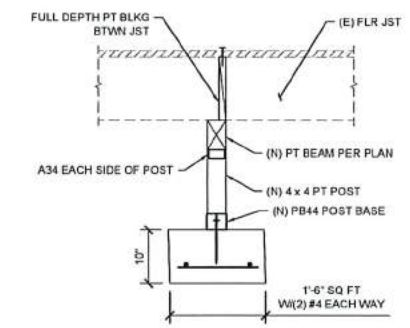
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Red House Phase 3 Bunkhouse
Spooner Backcountry,
Washoe County, Nevada

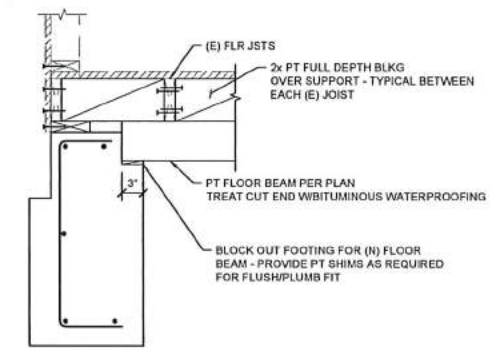
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drawn by: TJL
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revisions:

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FOUNDATION PLAN DETAILS

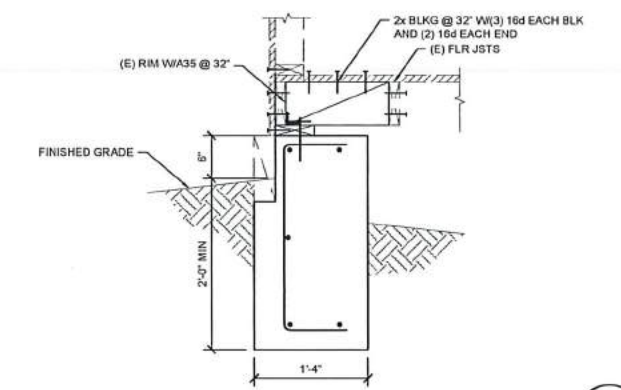
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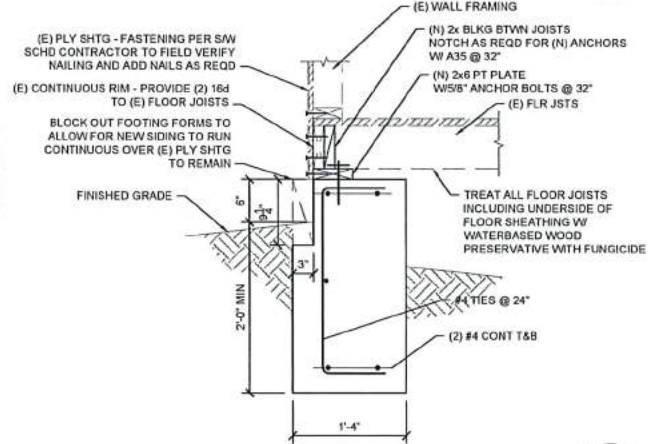
INTERIOR POST FOOTING
SCALE: 3/4" = 1'-0"
103
S1.1



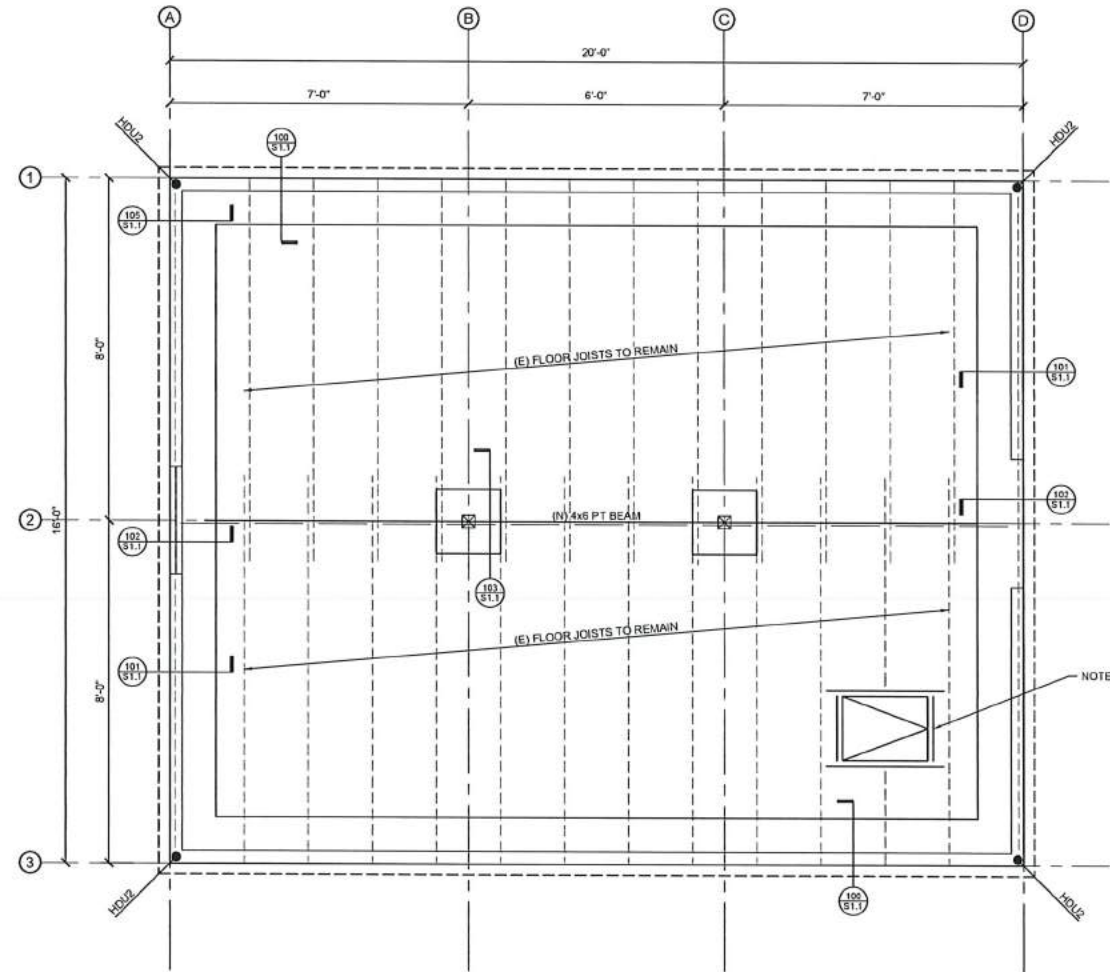
FLOOR BEAM AT PERIMETER FOOTING
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S1.1



TYPICAL PERIMETER FOOTING
SCALE: 1" = 1'-0"
101
S1.1

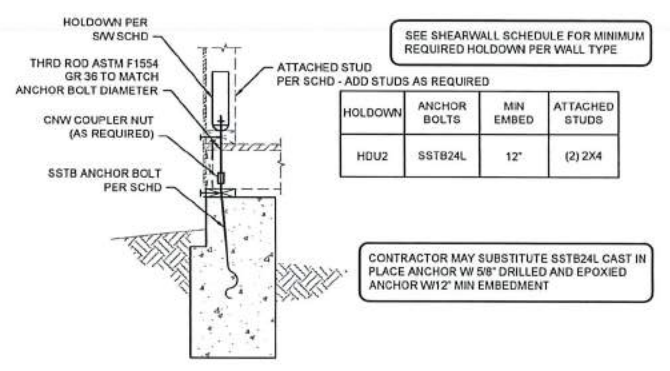


TYPICAL PERIMETER FOOTING
SCALE: 1" = 1'-0"
100
S1.1
ISSUED FOR REVIEW



LEVEL 1 FLOOR/FOUNDATION PLAN
SCALE: 1/2" = 1'-0"

FOUNDATION LEVEL 1 FRAMING NOTES:
1. ALL ELEVATIONS ARE WITH RESPECT TO A FIRST FLOOR DATUM OF 100'-0", UNO. SEE SITE PLAN (SHEET A1.1) FOR ACTUAL ELEVATIONS.
2. PROVIDE SUBSURFACE/SUBSOIL DRAINAGE AROUND PERIMETER OF STRUCTURE. SEE STRUCTURAL NOTES SECTION 3.13 & DETAIL 082/50.4 - DRAIN TO DAYLIGHT.
3. CRACK-SPACE ACCESS (18" x 24" MINIMUM) - ADJUST SPACING AS REQUIRED AND HEAD OUT. PROVIDE HUS HANGERS EACH END.
4. PROVIDE TYPE 6 SHEARWALL NAILING TO ALL EXTERIOR WALLS. PROVIDE ADDITIONAL FASTENERS AND BLOCKING AT PANEL EDGES AS REQUIRED - SEE SW SCHEDULE FOR ADDITIONAL FRAMING REQUIREMENTS.
5. SEE ARCHITECTURAL PLANS FOR UNDER FLOOR VENTING REQUIREMENTS.



FOUNDATION HOLDDOWN
NO SCALE
105
S1.1

MARK	SHTG	NAILS COMMON	NAILING EN	NAILING FN	3x FRAMING	SILL PLATE	SILL FASTENER NAIL/SCREW	HOLDOWN	ANCHOR BOLTS	A35 SPACING
6	15/32	10d	6	12	NO	2X	16d @ 6"	HDU2	5/8 @ 32	32"

SHEARWALL NOTES:
1. COMPLY WITH ALL REQUIREMENTS OF 2018 IBC AND 2015 AF&PA SDFPS.
2. SEE STRUCTURAL NOTES FOR SHEATHING REQUIREMENTS. EXISTING WALL SHEATHING TO REMAIN - PROVIDE ADDITIONAL NAILING AS REQUIRED.
3. INSTALL SHEATHING DIRECTLY TO FRAMING MEMBERS.
4. ALL UNSUPPORTED SHEATHING EDGES SHALL BE BLOCKED WITH 2" NOMINAL OR WIDER FRAMING.
5. AT INTERMEDIATE FRAMING MEMBERS SPACE NAILS AT 12" (FN).
6. EDGE NAILING (EN) SHALL BE PER THIS SCHEDULE. EDGE NAILS SHALL BE STAFFERED AND PROVIDE 1/2" EDGE DISTANCE.
7. USE A 3"x3"x0.25" OR LARGER PLATE WASHER (SIMPSON BPS 5/8-3) ON EA SILL PLATE BOLT.
8. SILL PLATE SHALL BE TRUS JOIST TIMBERSTRAND LSL TREATED SILL PLATE (ESR-1387) OR KDAD PRESSURE TREATED DOUGLAS FR #2.
9. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED SILLS SHALL BE GALVANIZED.
10. A MINIMUM NAIL PENETRATION OF 1-3/4" INTO THE MAIN MEMBER IS REQUIRED FOR 16d NAILS.

STANDARD - PLYWOOD SHEARWALL SCHEDULE
NO SCALE
104
S1.1



2/26/20

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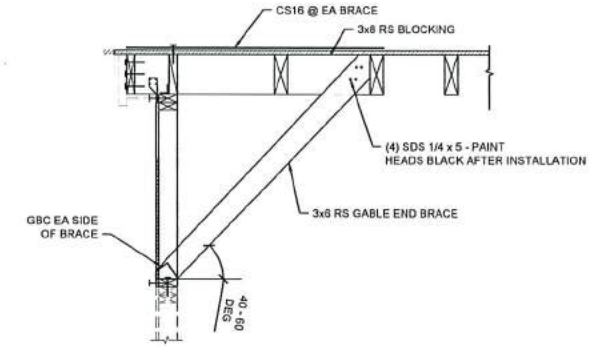
project title:
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Red House Phase 3 Bunkhouse
Spooner Backcountry,
Washoe County, Nevada

job number: 1302001
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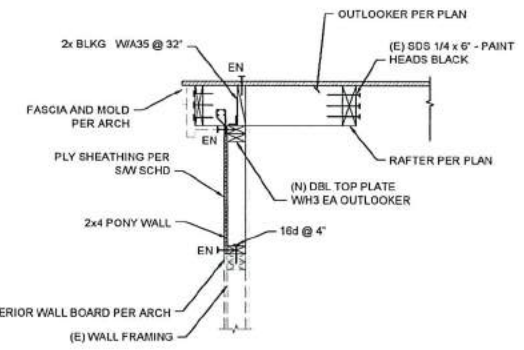
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ROOF FRAMING PLAN DETAILS

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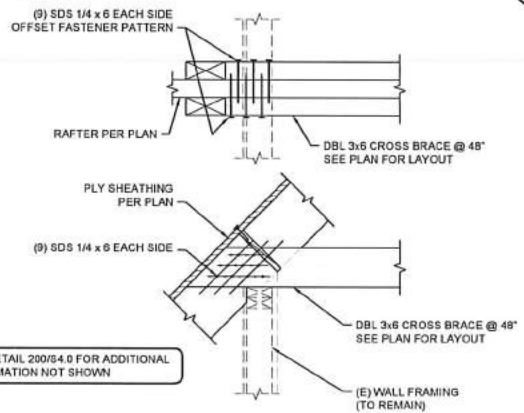
S4.0



GABLE END FRAMING AT BRACE
SCALE: 3/4" = 1'-0" **203**
S2.0

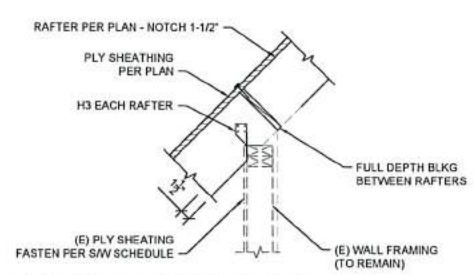


GABLE END FRAMING AT RAKE
SCALE: 3/4" = 1'-0" **202**
S2.0



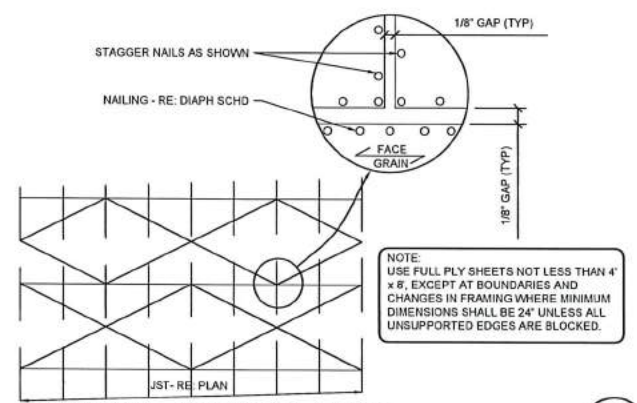
RAFTER CONNECTION - AT COLLAR TIE
SCALE: 1" = 1'-0" **201**
S4.0

SEE DETAIL 201S4.0 FOR ADDITIONAL INFORMATION NOT SHOWN

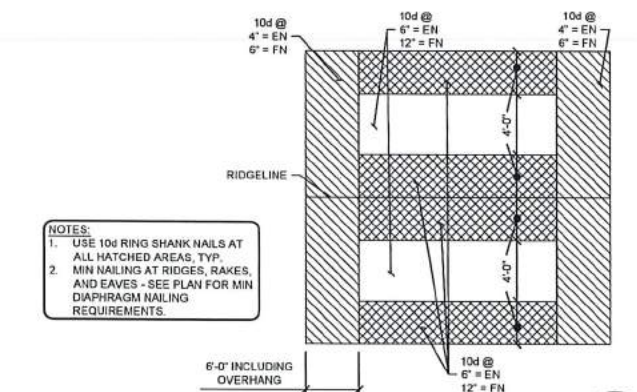


TYPICAL RAFTER CONNECTION
SCALE: 1" = 1'-0" **200**
S4.0

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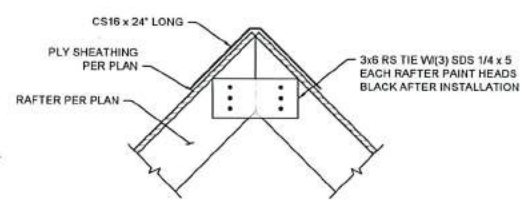


STANDARD -- PLYWOOD LAYOUT
NO SCALE **206**
S4.0

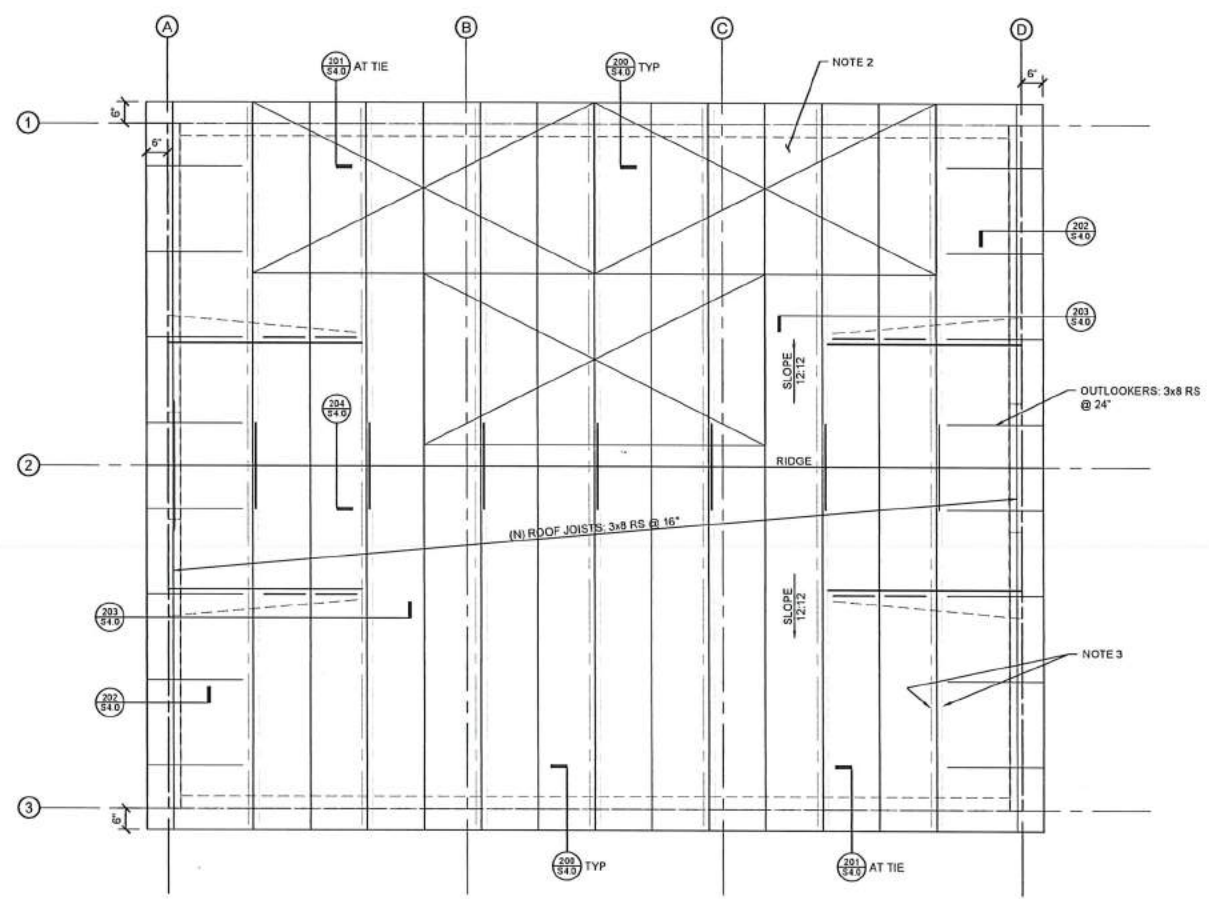


STANDARD - MINIMUM ROOF FASTENING
NO SCALE **205**
S4.0

NOTES:
1. USE 10d RING SHANK NAILS AT ALL HATCHED AREAS, TYP.
2. MIN NAILING AT RIDGES, RAKES, AND EAVES - SEE PLAN FOR MIN DIAPHRAGM NAILING REQUIREMENTS.



TYPICAL RIDGE CONNECTION
SCALE: 1" = 1'-0" **204**
S4.0



ROOF FRAMING PLAN
SCALE: 1/2" = 1'-0"

FRAMING NOTES:
1. ALL ELEVATIONS ARE WITH RESPECT TO A FIRST FLOOR DATUM OF 100'-0", UNO. SEE SITE PLAN FOR ACTUAL ELEVATIONS.
2. ROOF SHEATHING: 19/32" PLY SHTG - SEE STRUCTURAL NOTES SECTION 8.7. ORIENT PANELS WITH CONTINUOUS PANEL JOINTS PERPENDICULAR TO FRAMING AND STAGGER JOINTS PARALLEL TO FRAMING.
3. DOUBLE 3x6 RS COLLAR TIES AT 48" - SEE DETAIL 201S4.1 FOR CONNECTION AT EAVE.